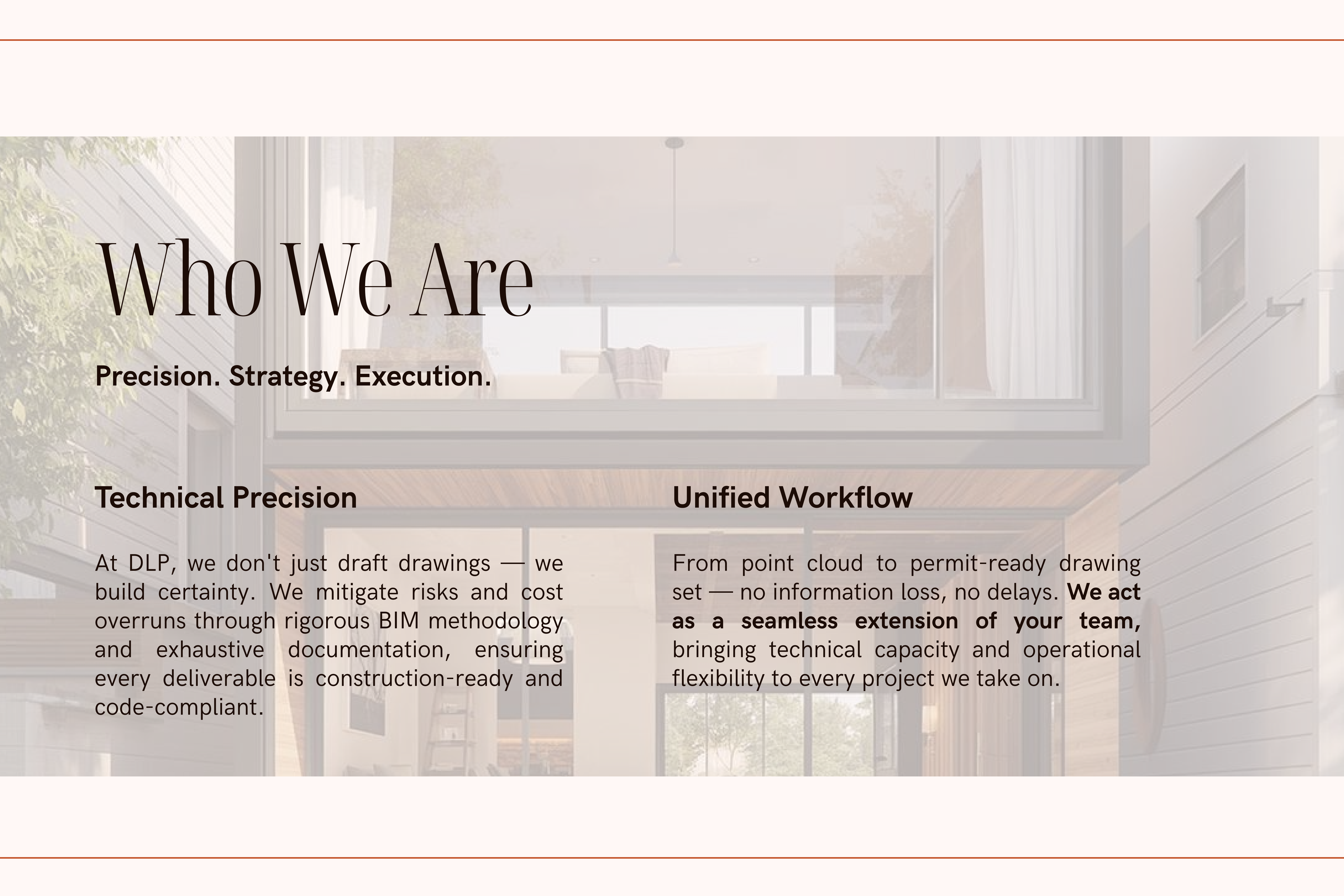




# ADU Permit Sets & BIM Services

Expert drafting, BIM modeling / BIM Coordination  
For **US developers and builders**





# Who We Are

**Precision. Strategy. Execution.**

## Technical Precision

At DLP, we don't just draft drawings — we build certainty. We mitigate risks and cost overruns through rigorous BIM methodology and exhaustive documentation, ensuring every deliverable is construction-ready and code-compliant.

## Unified Workflow

From point cloud to permit-ready drawing set — no information loss, no delays. **We act as a seamless extension of your team,** bringing technical capacity and operational flexibility to every project we take on.

# Our Services

## Integrated Solutions for Developers & Builders

### ADU Permit Sets

We produce complete permit sets meticulously drafted to meet local and international regulations — compliant, fast, and built for high approval rates. From intake to delivery, we own the full process.

### BIM Modeling

Revit models under ISO 19650 standards. **Clash detection (navisworks)**, **Digital Twins**, energy analysis, quantity takeoffs, and full **interdisciplinary coordination** — zero surprises in the field.

### Point Clouds

We transform point cloud scans into accurate **as-built** Revit models and complete **CD sets** (floor plans, elevations, sections, details, schedules) ready for bidding, execution, or permit submittal.

### Coordination

We coordinate the permit documentation process by verifying that all required disciplines have submitted the required deliverables. Our role is limited to documentation coordination and completeness verification, not technical review or validation.

# Expert Drafting for Permit Sets & CDs



## Permit Sets & Construction Documents

Complete drawing sets (floor plans, elevations, sections, details, schedules) ready for local jurisdiction submission, bidding, or construction execution. Compliant with applicable local and international codes.

## BIM Modeling

- Advanced Revit models under ISO 19650
- Clash detection and energy analysis
- Navisworks
- Quantity takeoffs and budgeting support
- Digital twins that optimize construction

## Point Clouds

- Scan to as-built BIM conversion
- Detailed construction documentation
- Comprehensive CD sets for bidding
- Accurate schedules and specifications



# Our Process

## Permit Sets

### Project Intake

We begin with a thorough checklist review, collecting all required documents, verifying zoning, pulling APN data, and setting up the project for a clean start.

### Drafting

Our team produces precise BIM models tailored to your project: site plans, floor plans, elevations, sections, electrical plans.

### Quality Control

Rigorous internal review against applicable building codes, setback requirements, and project standards before any submission is made.

### Permit Submission

We support or fully manage the permit submission process, from providing guidance and submission-ready documentation to handling the complete City portal workflow, including application forms, PDF uploads and plan check responses.

# Why Choose DLP

## US Code Specialists

Deep knowledge of US residential building codes, local ordinances, and international standards. Every permit set we deliver is built for compliance and approval.

## Remote Collaboration

Fully remote team that integrates seamlessly into your workflow. We communicate clearly and respond quickly, enabling efficient project management from anywhere in the world.

## Fast Turnaround

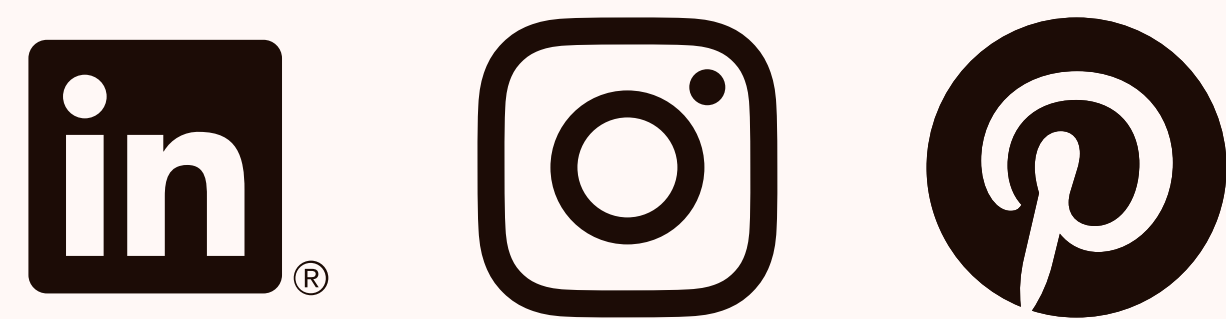
Our structured, checklist-driven process enhances efficiency, ensuring quick approval and delivery of permit sets.

## End-to-End Service

From the first document received to the stamped permit delivered, we own the entire process: intake, drafting, QC, submission, corrections, and final delivery.

# Contact Us

We act as a seamless extension of  
your team



 (+34) 607-81-1195 - (+57) 316-694-3784

 ddelima@dlpsas.com - proyectos@dlpsas.com

 [www.dlpsas.com](http://www.dlpsas.com)



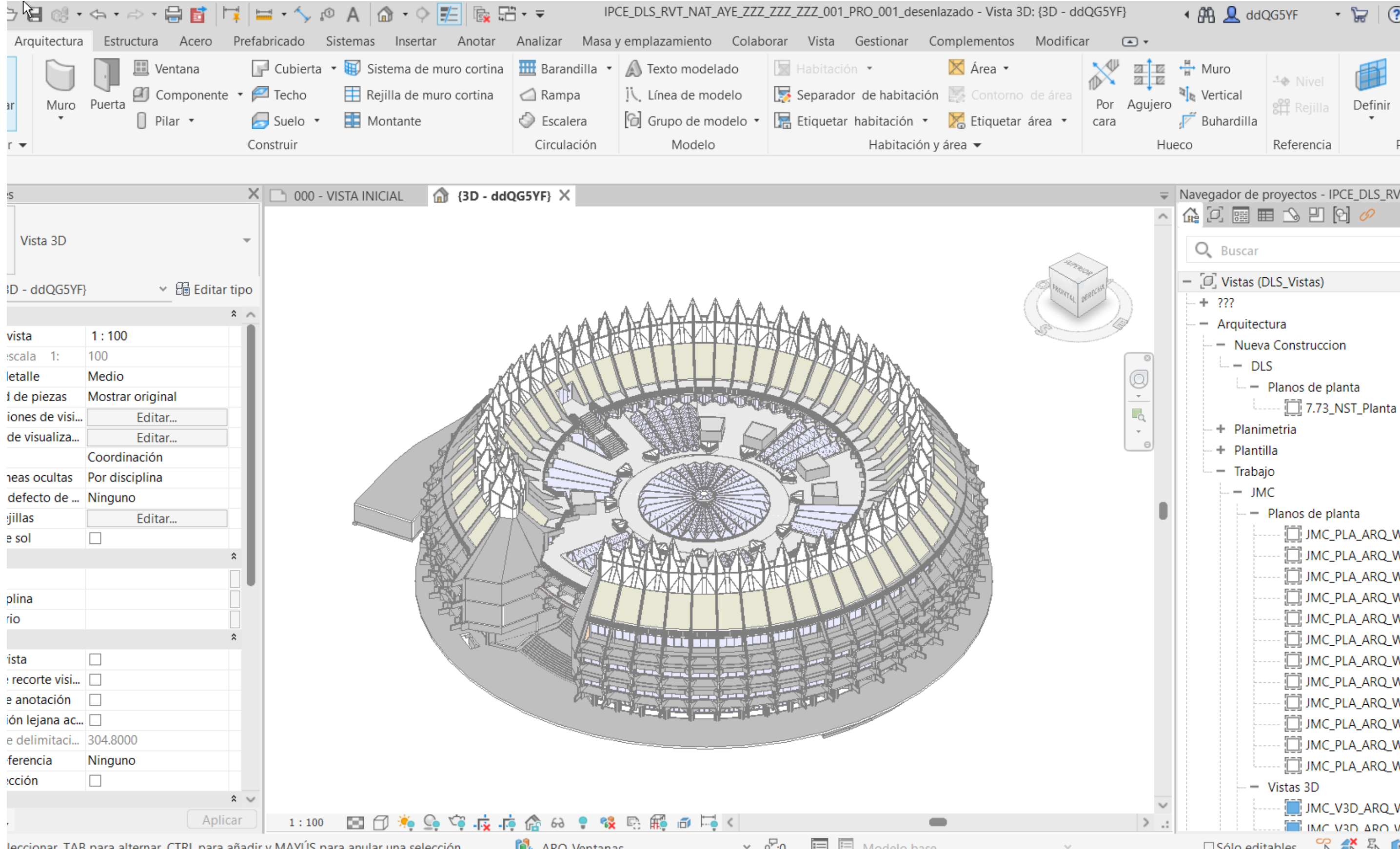
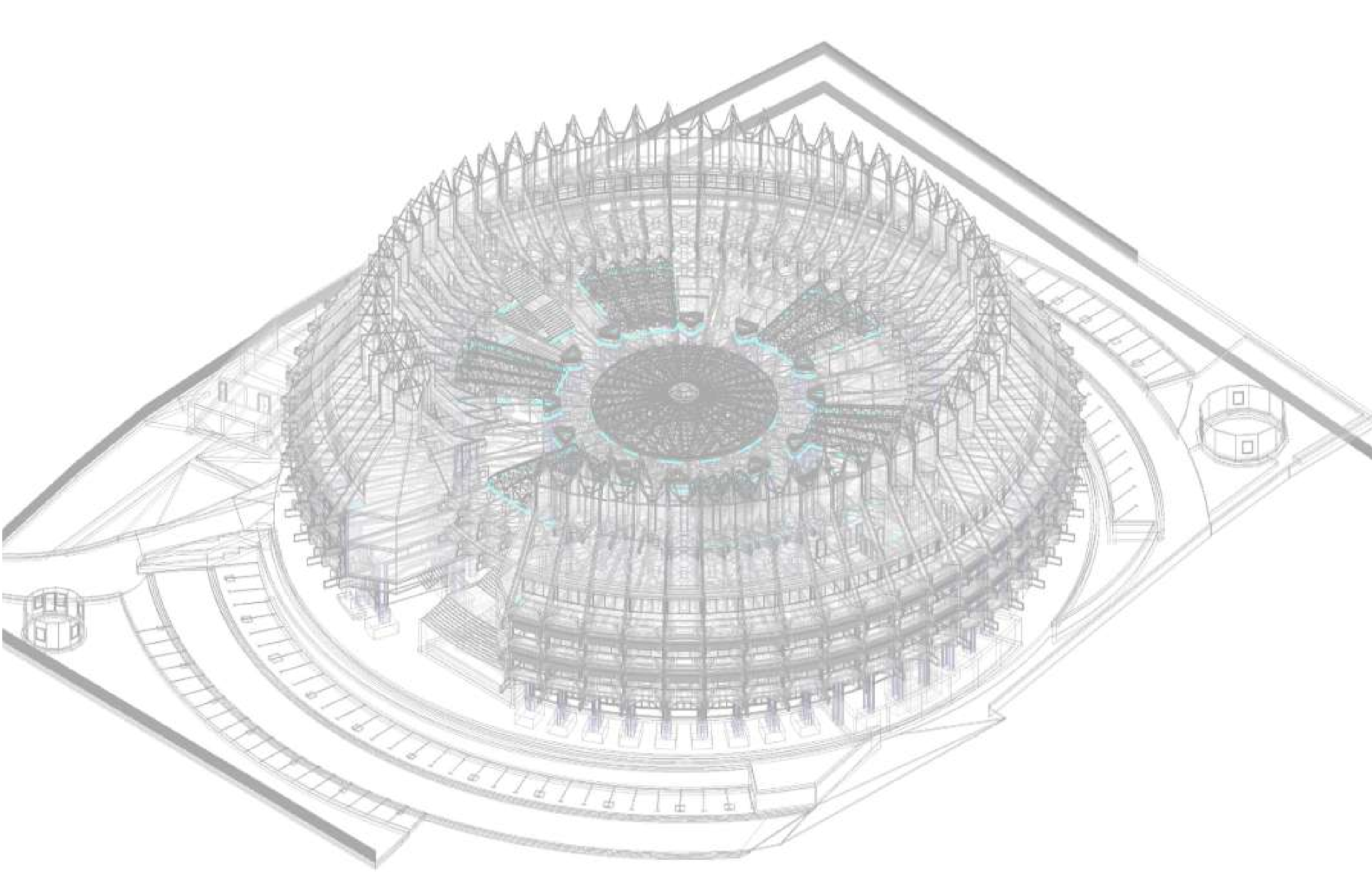
# Permit Set Samples

## A Selection of Our Work

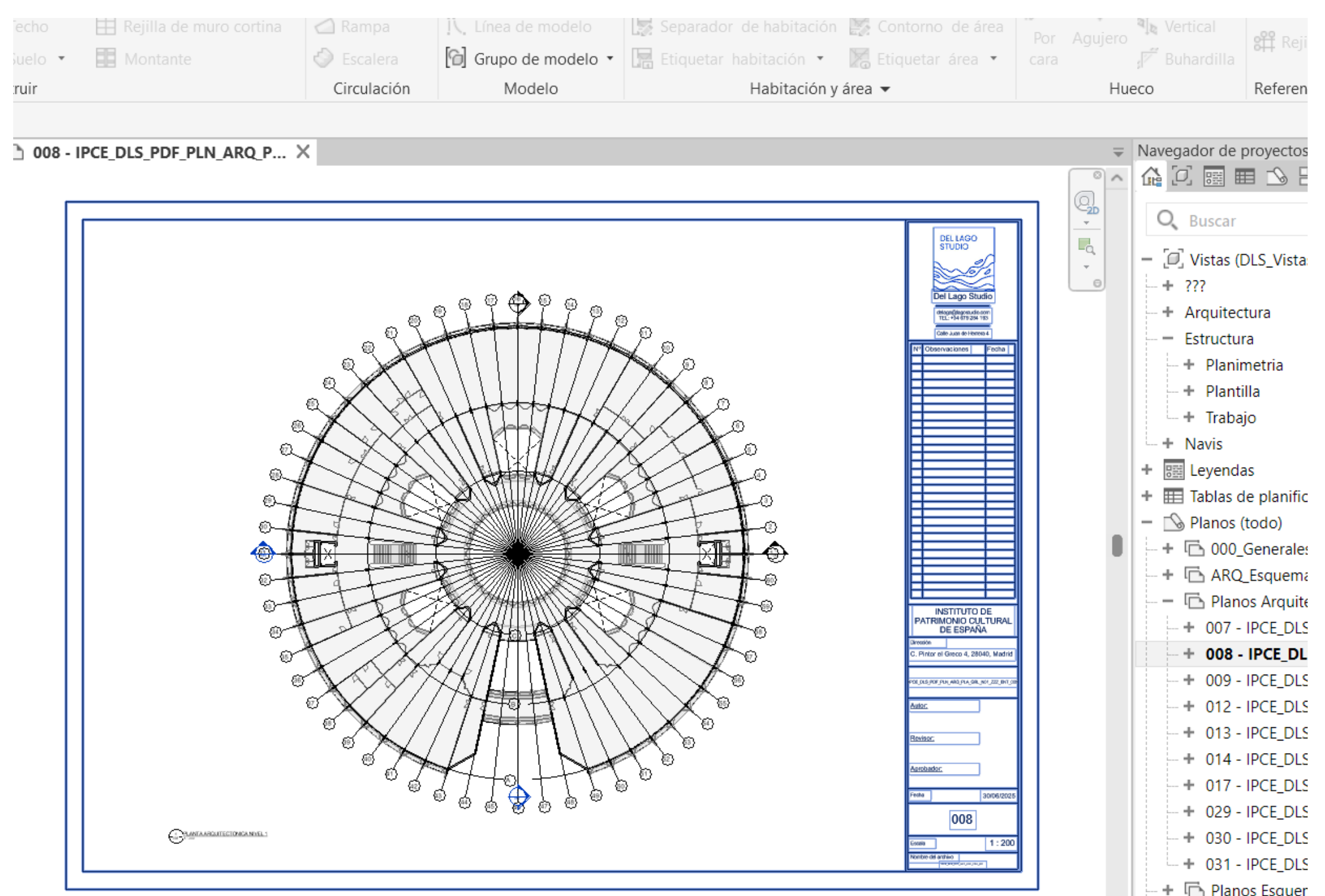
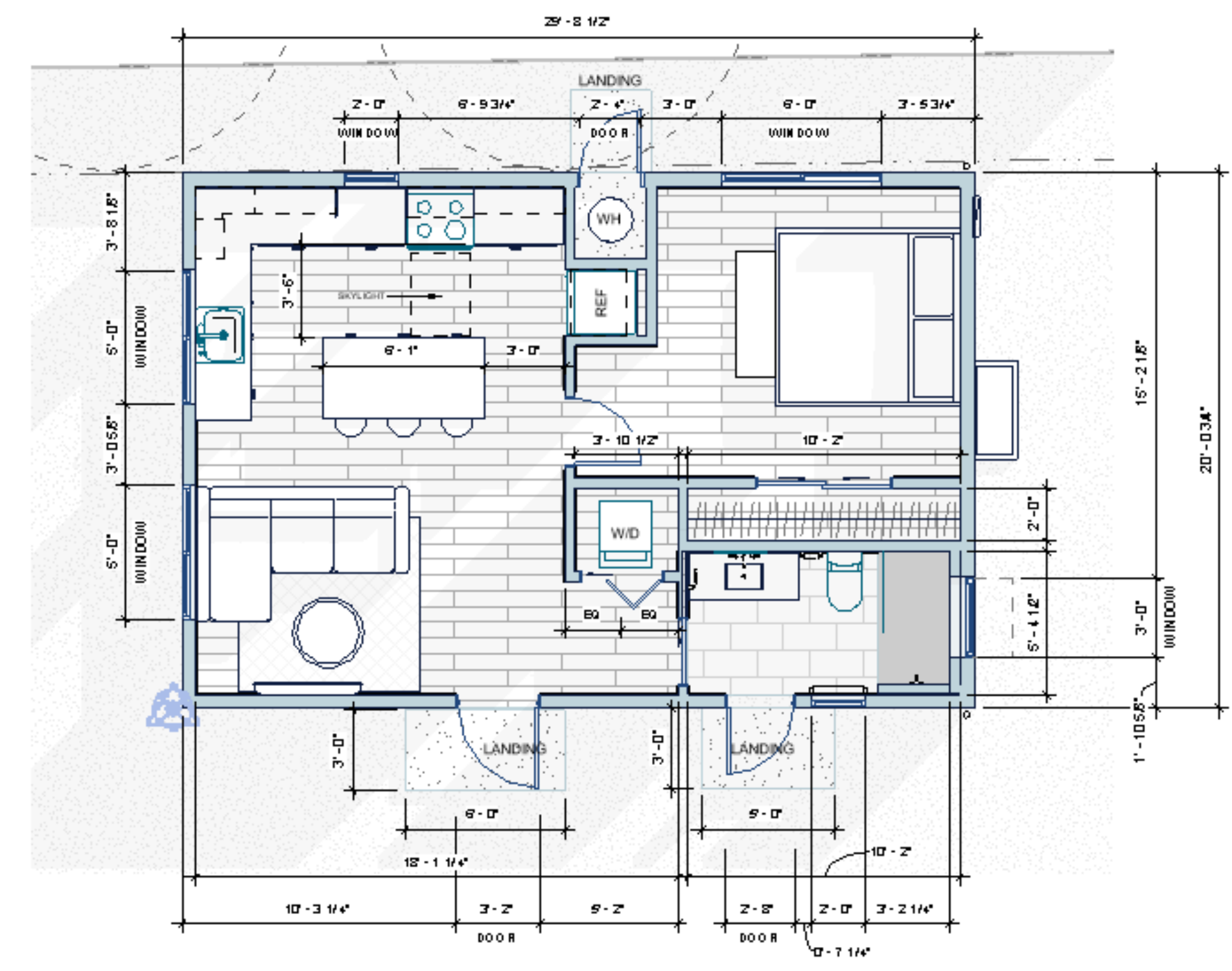
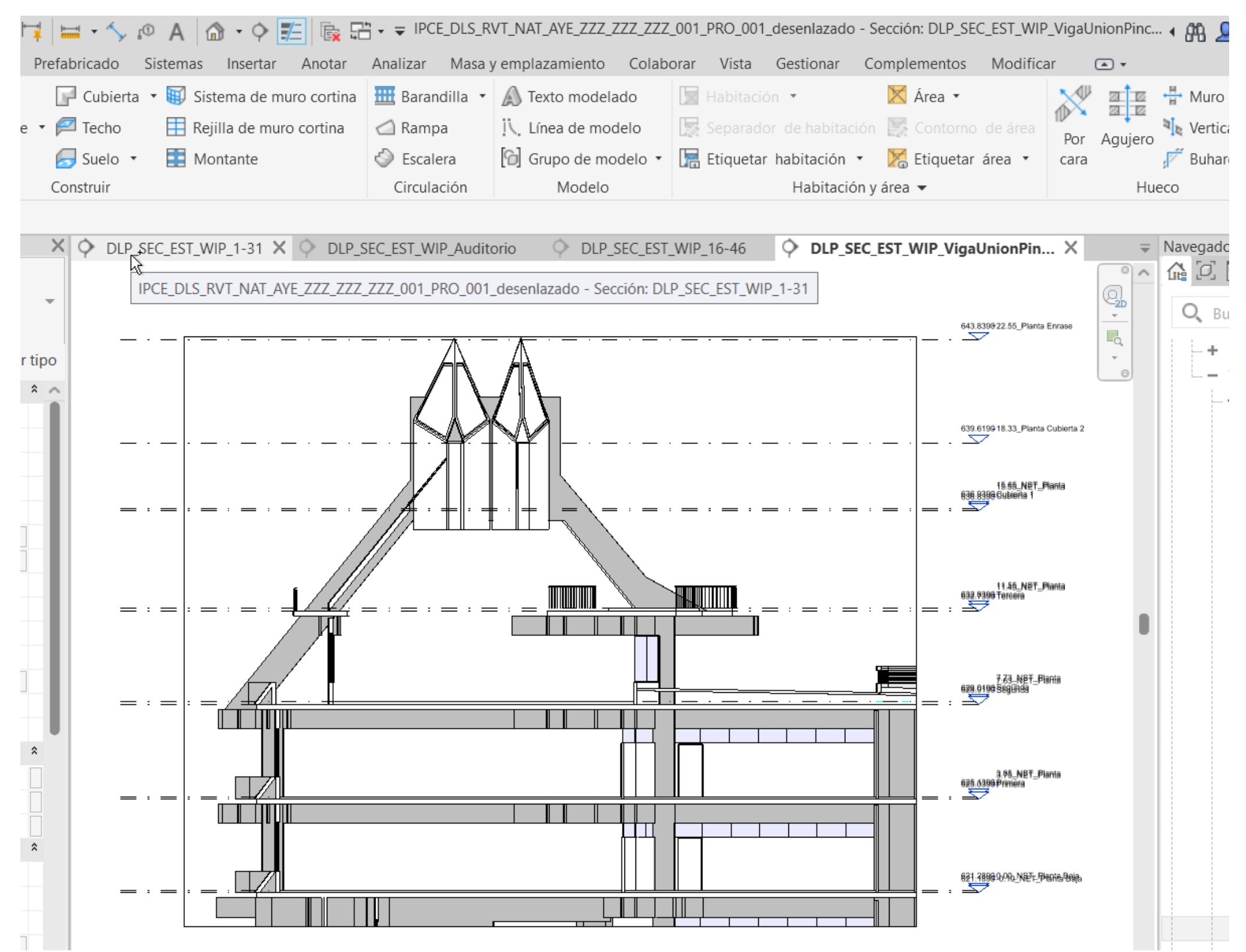
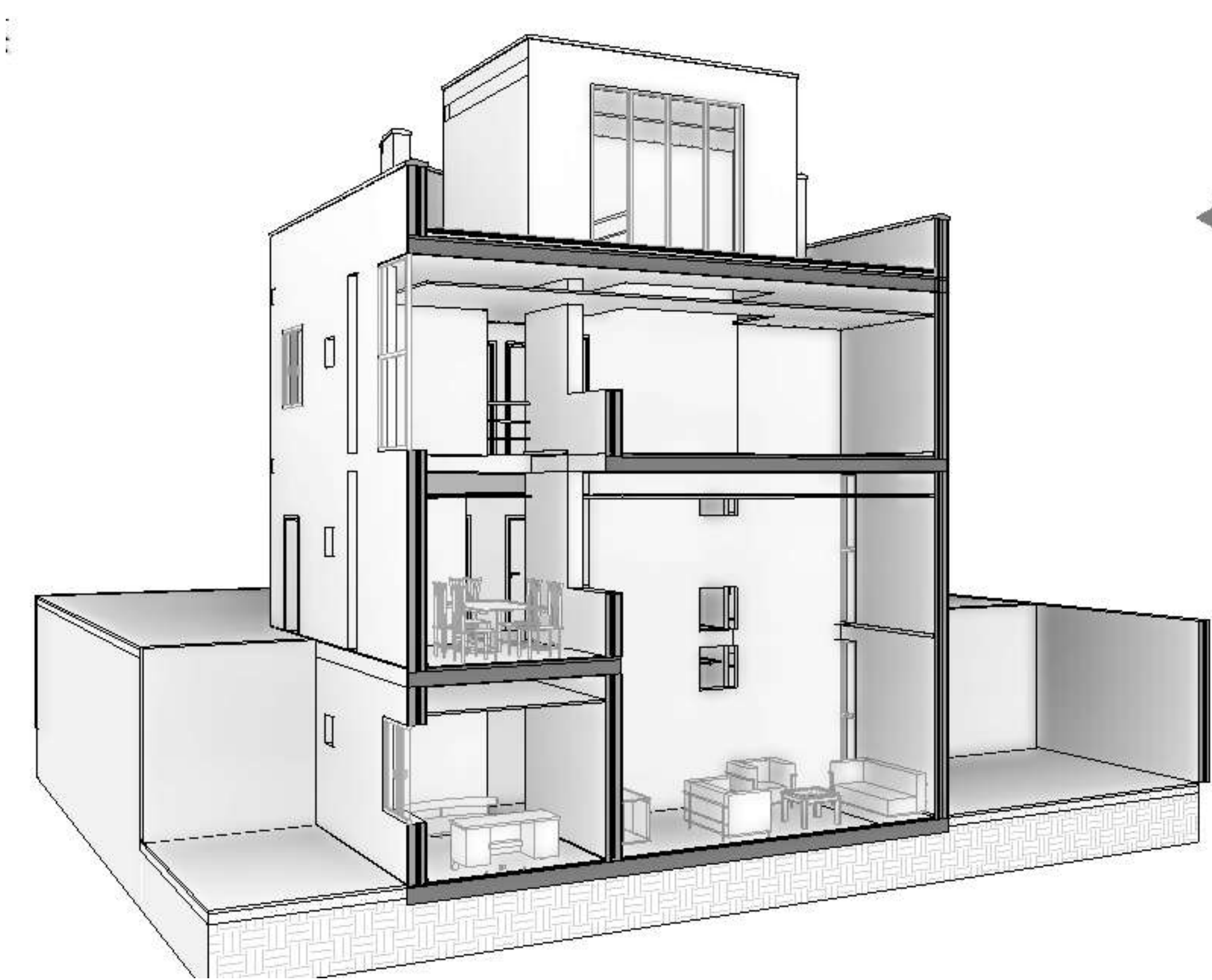
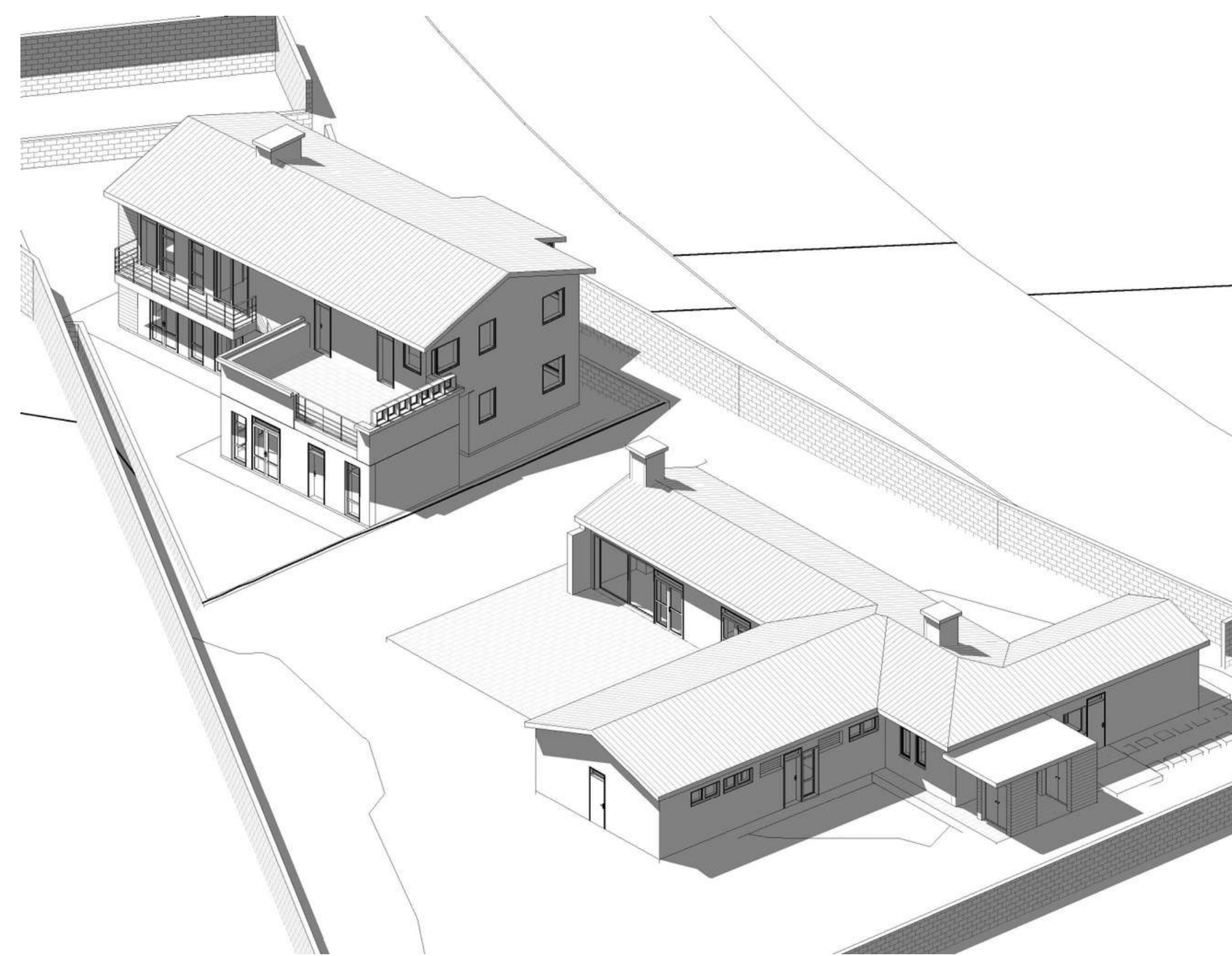
A representative selection of our permit sets, BIM models, and construction documentation work — showcasing our commitment to technical precision and quality across every project we undertake.



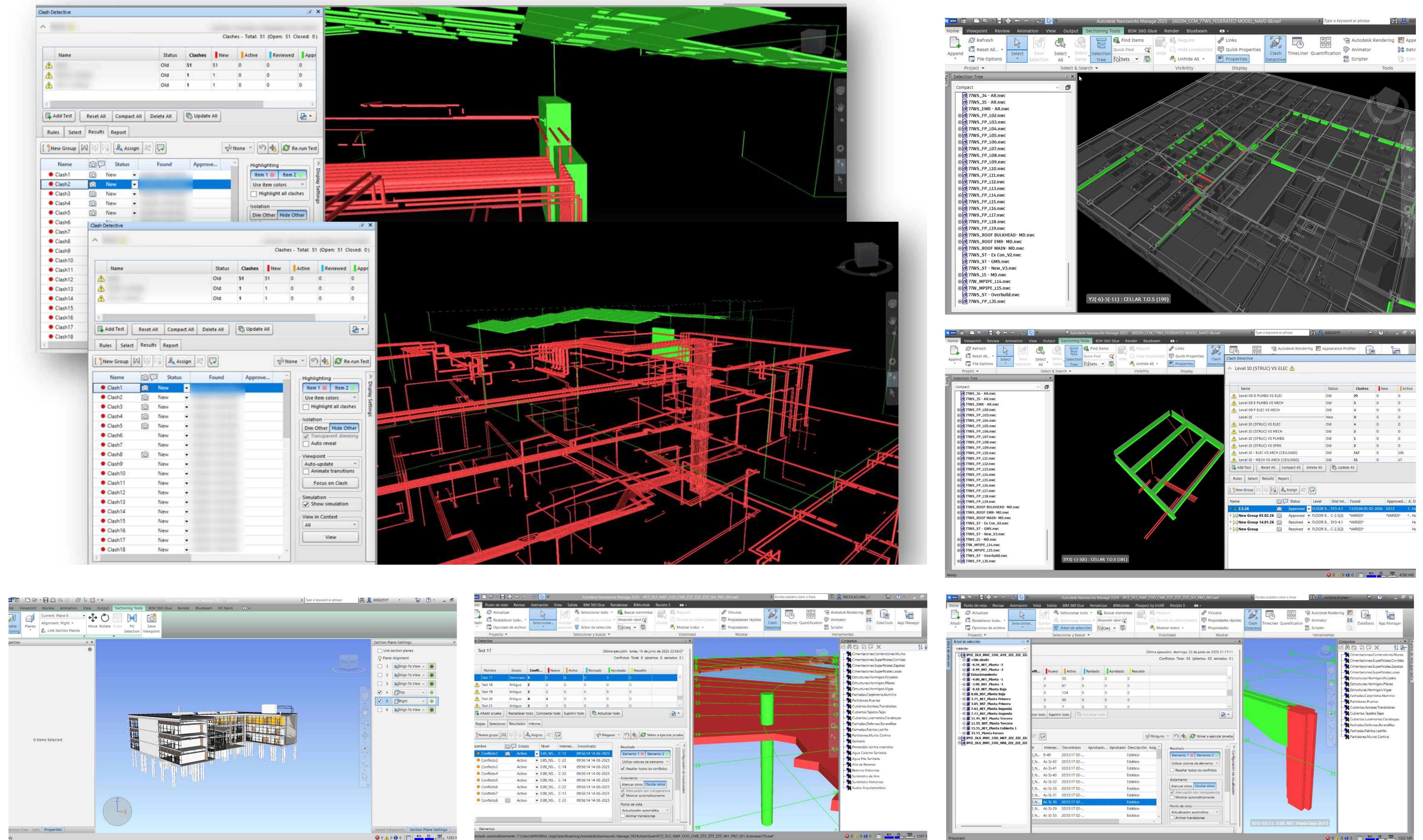
# Digital Twins and Point Cloud Modeling



# BIM Modeling



# Navisworks - BIM Coordination



# BONITA AVE - PATIO ENCLOSURE

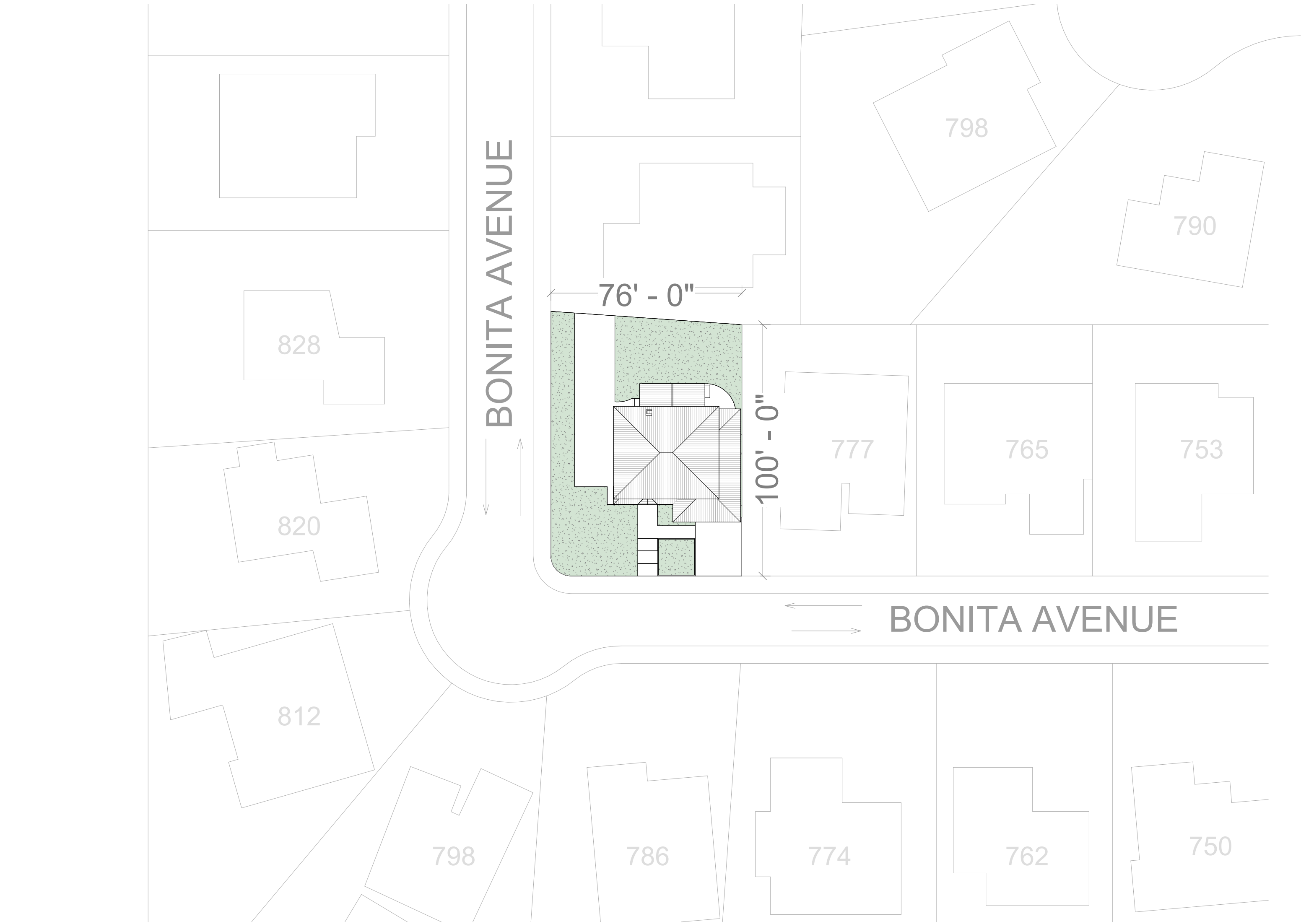
VALUE BUILDERS

## PROJECT LOCATION

## PROJECT INFORMATION

## SHEET INDEX

An Addition /  
Remodeling For:



1  
A1 Site Plan - 1"=40'-0"  
1/32" = 1'-0"

PROPERTY OWNER  
PROPERTY ADDRESS  
  
APN  
YEAR BUILT 1968  
LOT SQ FT 7,242  
OCCUPANCY GROUP R-3  
  
TYPE OF CONST. TYPE V-B WOOD FRAME CONSTRUCTION  
STORIES 2 STORIES EXISTING RESIDENCE  
  
# BEDROOMS 4  
# BATHROOMS 2.5  
  
SCOPE OF WORK: PATIO ENCLOSURE  
TOTAL COST: \$65,000

**A - ARCHITECTURAL PLANS**  
A1 - COVER SHEET  
A2 - SITE PLAN  
A3 - EXISTING AND PROPOSED FIRST FLOOR PLAN  
A4 - EXISTING AND PROPOSED BACK ELEVATION  
A5 - EXISTING AND PROPOSED WEST ELEVATION  
A6 - EXISTING AND PROPOSED EAST ELEVATION  
A7 - SECTIONS  
A8 - DOOR & WINDOWS SCHEDULES  
A9 - CONCRETE FOUNDATION PLAN  
A10 - ELECTRICAL LAYOUT & DETAILS  
A11 - MATERIALS  
  
**G- GENERAL NOTES**  
G1 - POLLUTION PREVENTION PLAN  
  
**S- STRUCTURAL PLANS**

## SUBMITTED BY

S1 - GENERAL NOTES  
S2 - GENERAL NOTES  
S3 - WALL FRAMING PLAN  
S4 - ROOF FRAMING PLAN  
S5 - ELEVATIONS  
S6 - SUNROOM DETAILS

## AREA OF WORK

Patio Enclosure #1  
Project Sq Ft: 288

## AREA CALCULATION

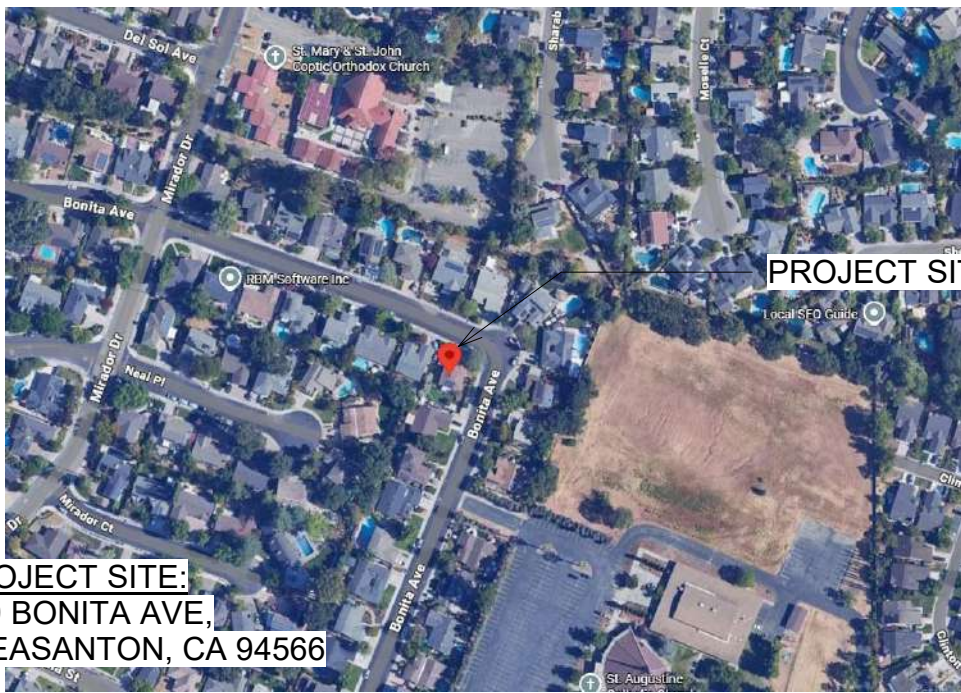
|                                                            |          |
|------------------------------------------------------------|----------|
| EXISTING                                                   |          |
| (E) LOT SQ                                                 | 7,242 SF |
| (E) EXISTING FLOOR AREA                                    | 1,755 SF |
| EXISTING LOT COVERAGE                                      | 24.20 %  |
| PROPOSED                                                   |          |
| (E) PROPOSED FLOOR AREA INCLUDING PATIO ENCLOSURE (288 SF) | 2,043 SF |
| PROPOSED LOT COVERAGE                                      | 28.21%   |

## VICINITY MAP

## GENERAL NOTES

## APPLICABLE CODES

## SYMBOL LEGEND



- EXISTING OCCUPANCY: EXISTING SINGLE-FAMILY RESIDENCE (R-3)
- SCOPE OF WORK: CONSTRUCTION OF A NEW NON-HABITABLE SUNROOM/PATIO ENCLOSURE ATTACHED TO THE EXISTING SINGLE-FAMILY RESIDENCE.
- THE PROPOSED WORK DOES NOT INCREASE THE OCCUPANT LOAD OF THE EXISTING ASSEMBLY SPACE.
- NO TREES ARE LOCATED WITHIN THE PROPOSED WORK AREA; TREE PROTECTION MEASURES ARE NOT REQUIRED.
- NO MODIFICATIONS TO THE EXISTING FIRE SPRINKLER SYSTEM ARE PROPOSED UNDER THIS PERMIT.
- NO WORK IS PROPOSED ON THE EXISTING MAIN ELECTRICAL PANEL UNDER THIS PERMIT.

2025 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2025 INTERNATIONAL BUILDING CODE (IBC) – WHERE APPLICABLE  
2025 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2025 INTERNATIONAL FIRE CODE (IFC)  
2025 WILDLAND-URBAN INTERFACE / FHIR REQUIREMENTS (AS ADOPTED BY LOCAL JURISDICTION)

ALL WORK SHALL COMPLY WITH THE CURRENTLY ADOPTED 2025 CODES AND LOCAL AMENDMENTS.

|  |                                |  |                     |
|--|--------------------------------|--|---------------------|
|  | NORTH ARROW                    |  | KEYNOTE REFERENCE   |
|  | SECTION REFERENCE SHEET NUMBER |  | SPOT ELEVATION      |
|  | DETAIL REFERENCE SHEET NUMBER  |  | PROPERTY LINE       |
|  | REVISION CLOUD                 |  | CENTER LINE         |
|  | REVISION NUMBER                |  | WALL TYPE REFERENCE |
|  | WINDOW REFERENCE               |  |                     |

SHEET NAME:

Cover Sheet

DATE: 7/22/2026 2:58:00 PM

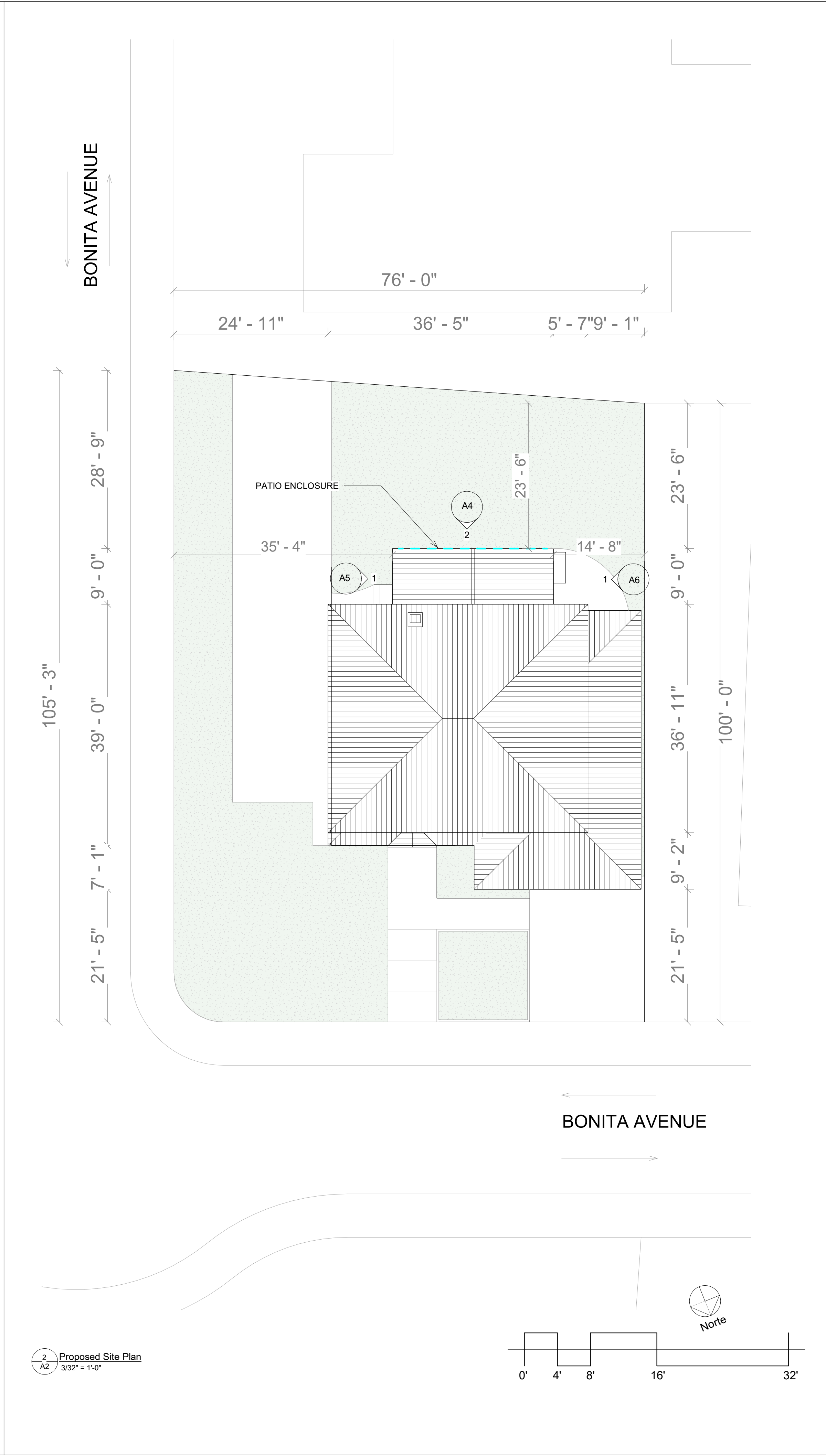
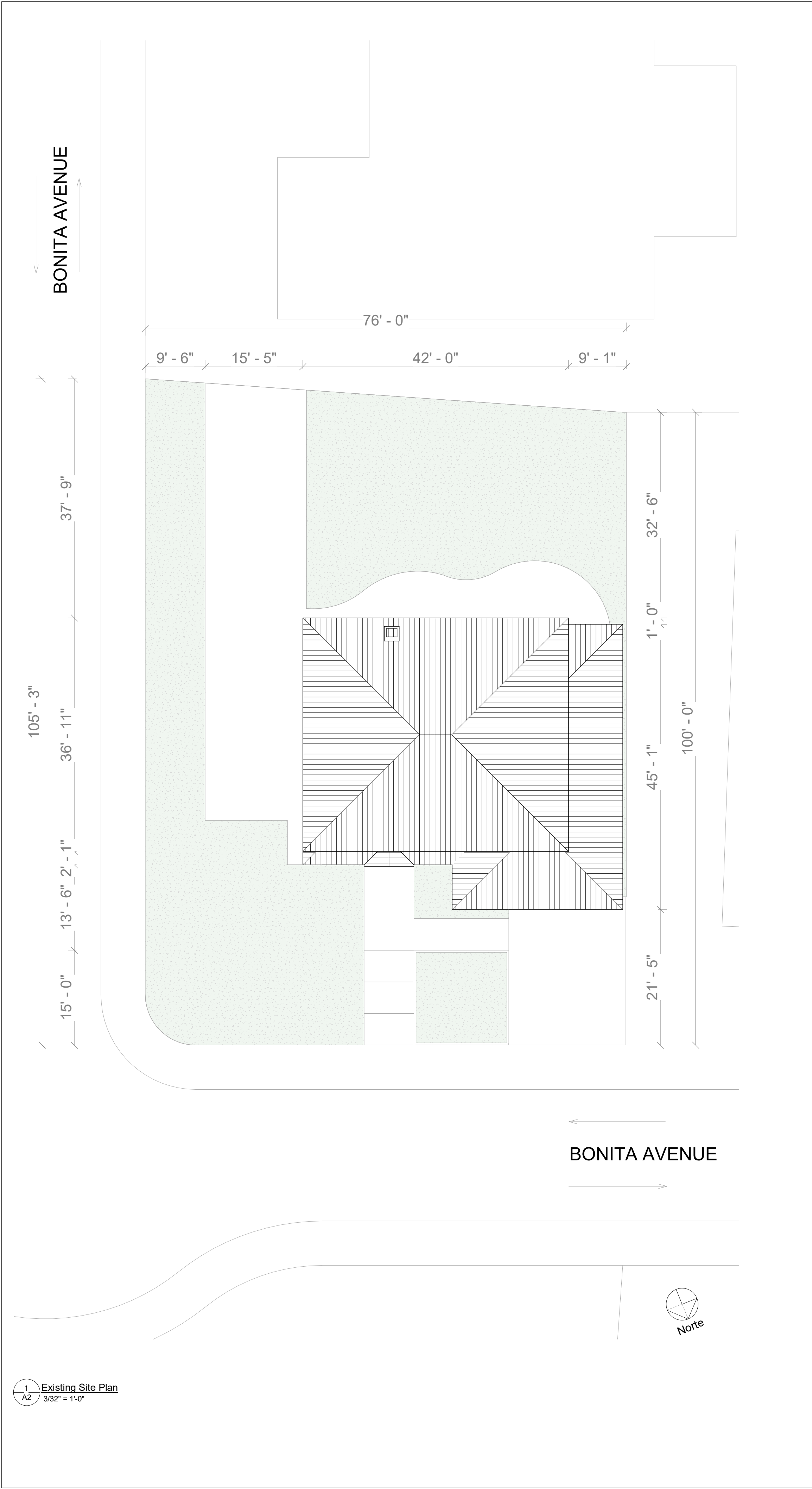
SCALE: 1/32" = 1'-0"

DRAWN BY: Samantha James

CHECKED: Checker

SHEET:

A1



| PROJECT INFORMATION                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                    |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|
| PROPERTY OWNER                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                    |
| PROPERTY ADDRESS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                    |
| APN                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                    |
| YEAR BUILT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | 1968               |
| LOT SQ FT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | 7,242              |
| SCOPE OF WORK:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | PATIO ENCLOSURE    |
| TOTAL COST:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | \$65,000           |
| AREA CALCULATION                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                    |
| EXISTING<br>(E) LOT SQ<br>(E) EXISTING FLOOR AREA                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | 7242 SF<br>1755 SF |
| EXISTING LOT COVERAGE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | 24.20 %            |
| <div>PROPOSED<br/>(E) PROPOSED FLOOR AREA<br/>INCLUDING PATIO ENCLOSURE (288 SF)</div>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                    |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 2043 SF            |
| PROPOSED LOT COVERAGE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | 28.21%             |
| GENERAL NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                    |
| <div>1. FIELD VERIFY DIMENSIONS PRIOR TO CONSTRUCTION.</div> <div>2. NO PROPOSED LANDSCAPE</div> <div>3. NO EXISTING EASEMENTS ON SITE</div> <div>4. CONTRACTOR TO COMPLY WITH ALL CAL/OSHA REQUIREMENTS AND CITY ORDINANCE.</div> <div>5. NO WORK PROPOSED IN THE PUBLIC RIGHT OF WAY AS PART OF THIS PERMIT APPLICATION.</div> <div>6. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO LOCATE PROPERTY LINES AND CONFORM TO SET BACK REQUIREMENTS.</div> <div>7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP OF ALL SILT AND MUD ON ADJACENT STREETS DUE TO THE CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. AT THE END OF EACH WORKDAY, OR AFTER A STORM EVENT THAT CAUSES A BREECH IN INSTALLED CONSTRUCTION WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET, A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION OR EQUIPMENT FROM TRACKING MUD OR SILT INTO THE STREET.</div> <div>8. ALL STOCKPILES OF SOIL AND OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED.</div> <div>9. THE STORAGE OF ALL CONSTRUCTION MATERIAL AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.</div> <div>10. EXISTING RESIDENCE IS NOT FIRE SPRINKLED</div> |                    |

VALUE BUILDERS

An Addition / Remodeling For:

| Revision Schedule |          |             |
|-------------------|----------|-------------|
| No.               | Date     | Description |
| 1                 | 07/20/26 | Comments 1  |

SUBMITTED BY:

VALUE BUILDERS

SHEET NAME:

Site Plan

DATE: 7/22/2026 2:58:00 PM

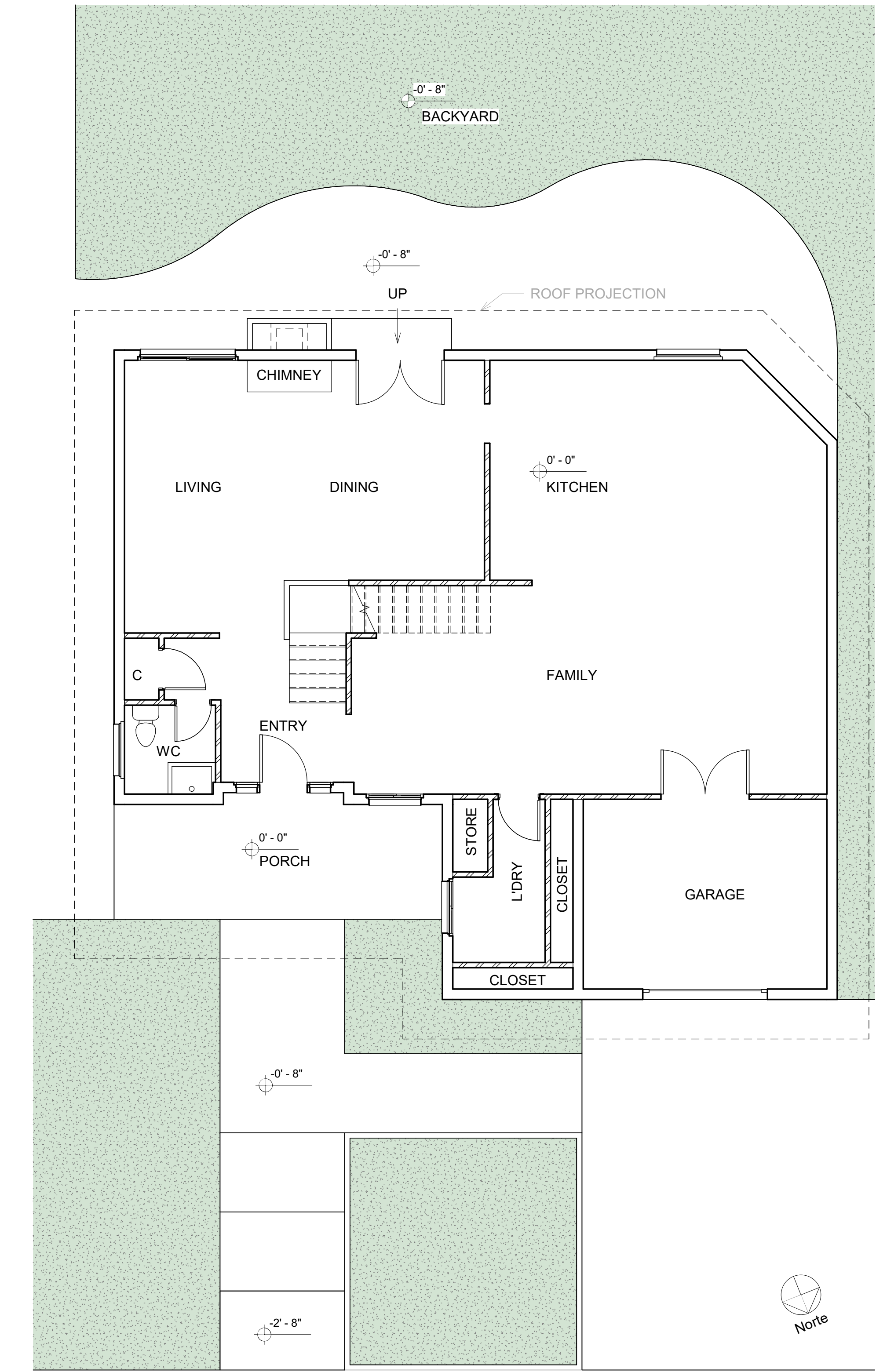
SCALE: 3/32" = 1'-0"

DRAWN BY: Samantha James

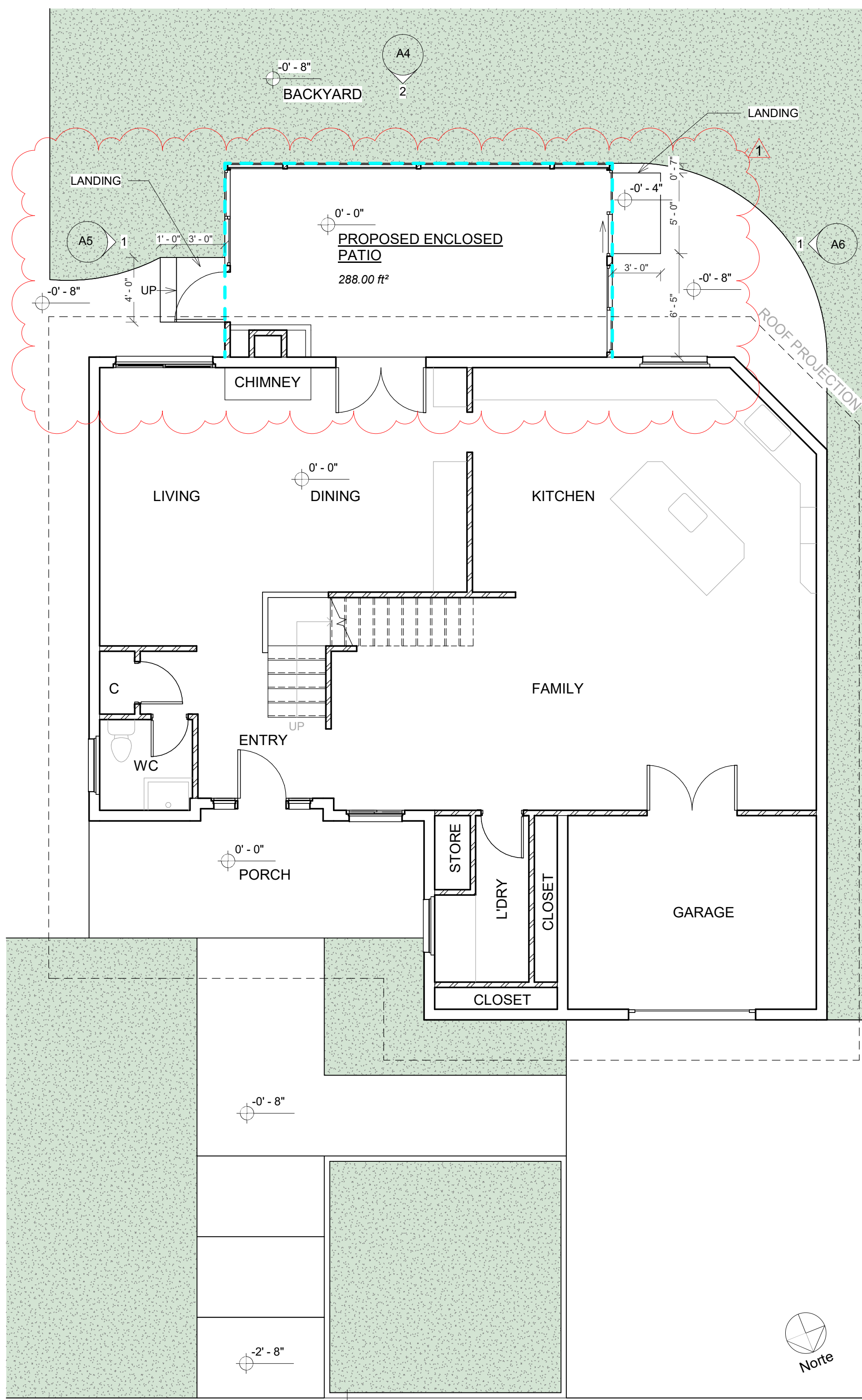
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SHEET:

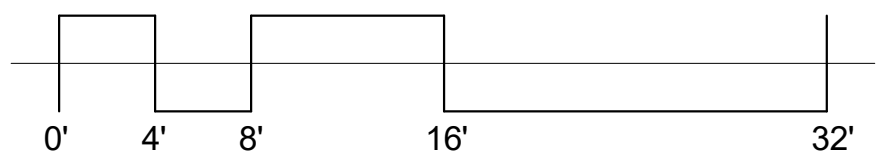
A2



2 Existing First Plan  
A3 3/16" = 1'-0"



1 Proposed First Plan  
A3 3/16" = 1'-0"



VALUE BUILDERS

An Addition /  
Remodeling For:

| Revision Schedule |          |             |
|-------------------|----------|-------------|
| No.               | Date     | Description |
| 1                 | 07/20/26 | Comments 1  |

SUBMITTED BY:

VALUE BUILDERS

SHEET NAME:

First Floor Plan

DATE: 7/22/2026 2:58:01 PM  
SCALE: 3/16" = 1'-0"  
DRAWN BY: DLP  
CHECKED: Checker  
SHEET:

A3

An Addition /  
Remodeling For:

| Revision Schedule |      |             |
|-------------------|------|-------------|
| No.               | Date | Description |

SUBMITTED BY:

VALUE BUILDERS

SHEET NAME:

Back Elevation

|           |                      |
|-----------|----------------------|
| DATE:     | 7/22/2026 2:58:01 PM |
| SCALE:    | 1/4" = 1'-0"         |
| DRAWN BY: | Samantha James       |
| CHECKED:  | Checker              |
| SHEET:    |                      |

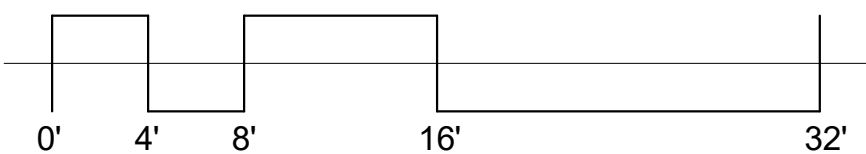
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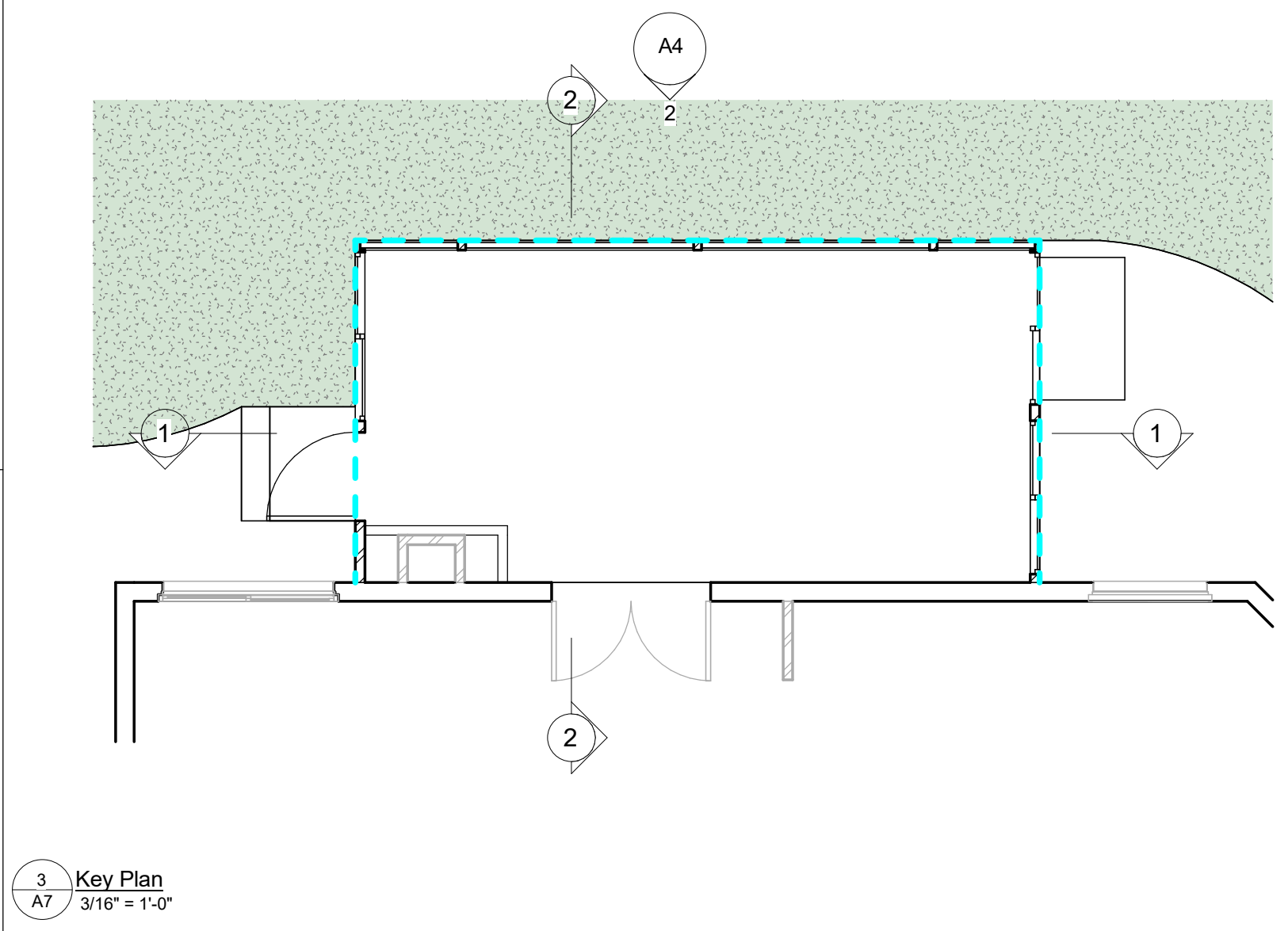
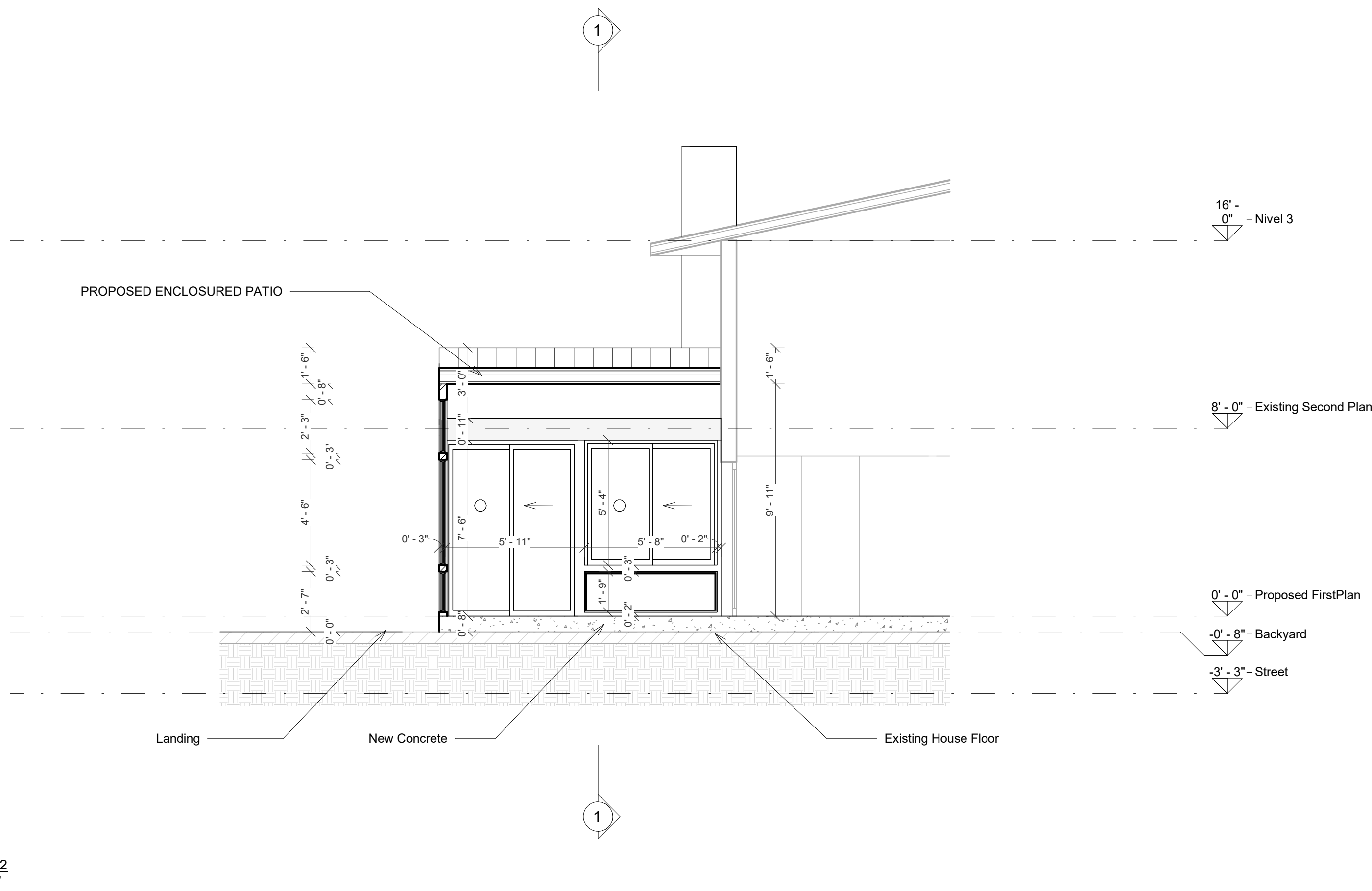
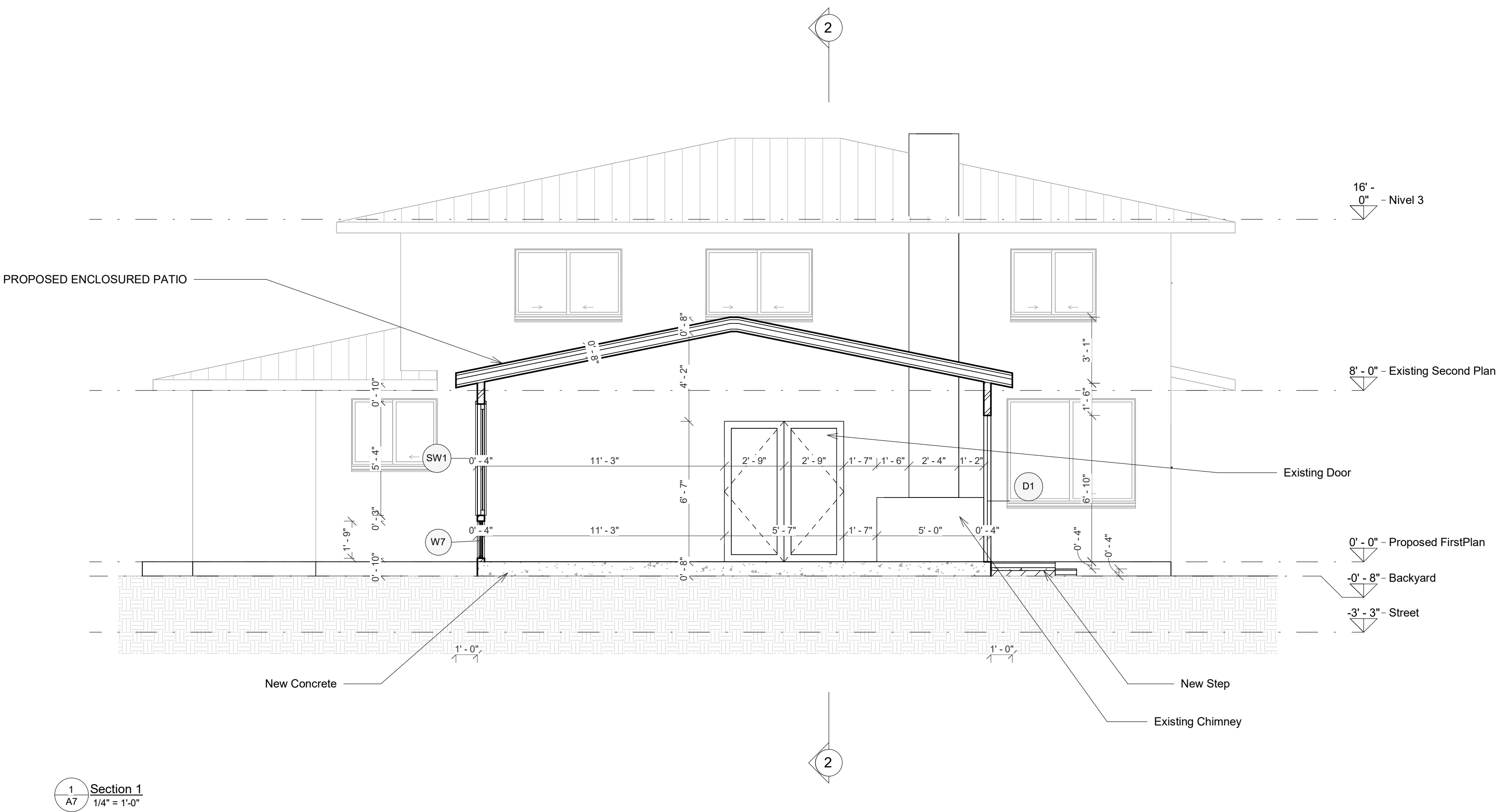


1 Existing Back Elevation  
1/4" = 1'-0"



2 Proposed Back Elevation  
1/4" = 1'-0"





VALUE BUILDERS

An Addition / Remodeling For:

Revision Schedule

| No. | Date | Description |
|-----|------|-------------|
|-----|------|-------------|

SUBMITTED BY:

VALUE BUILDERS

SHEET NAME:

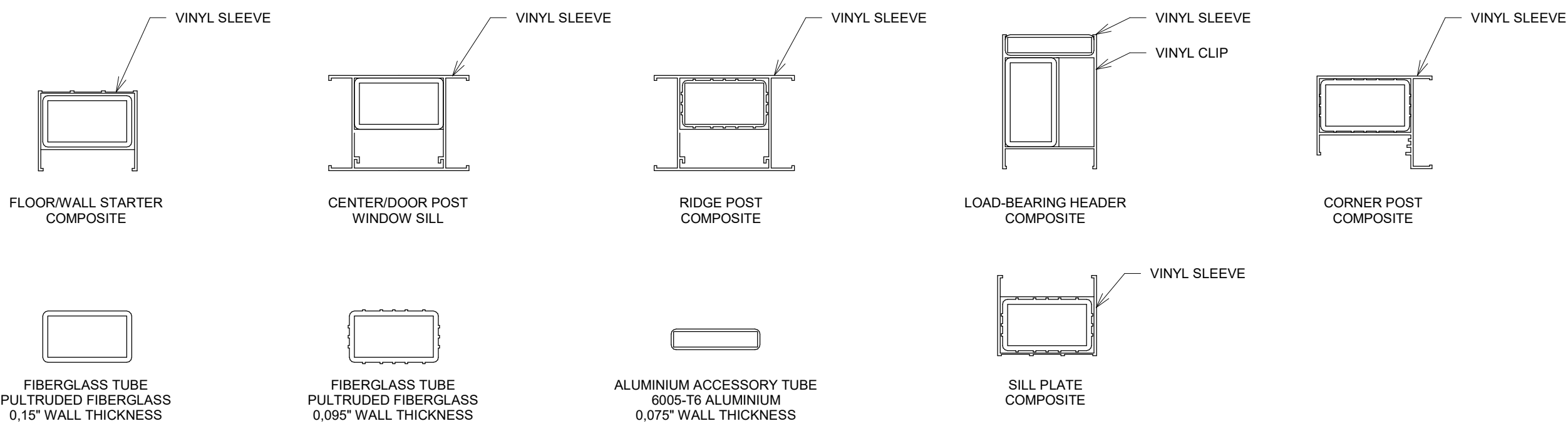
Sections

As shown  
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SCALE: As indicated  
DRAWN BY: Author  
CHECKED: Checker  
SHEET:

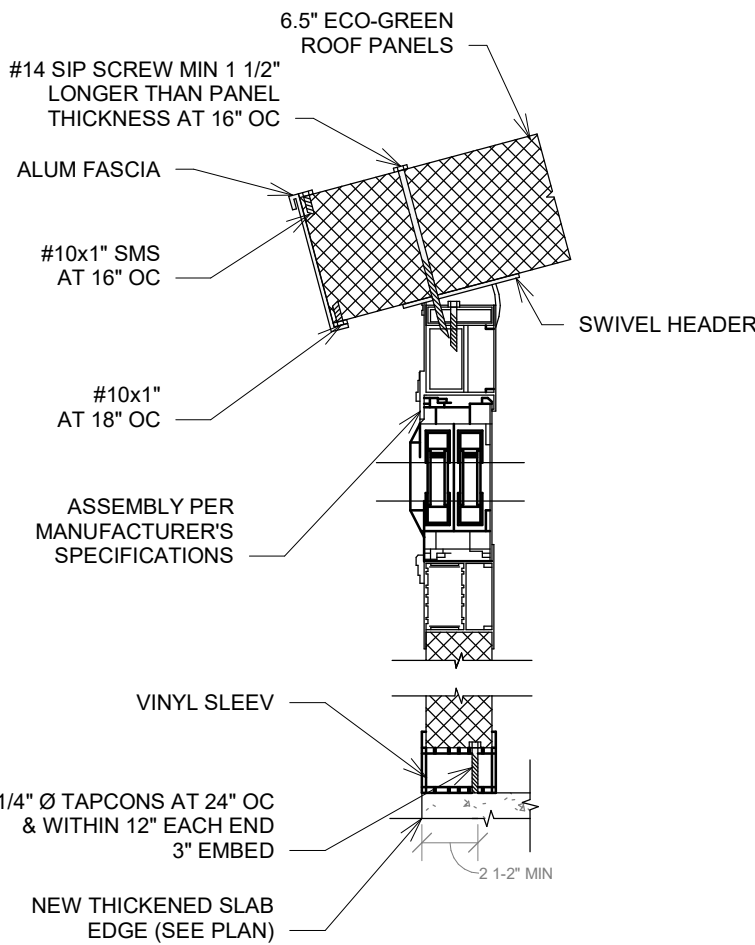
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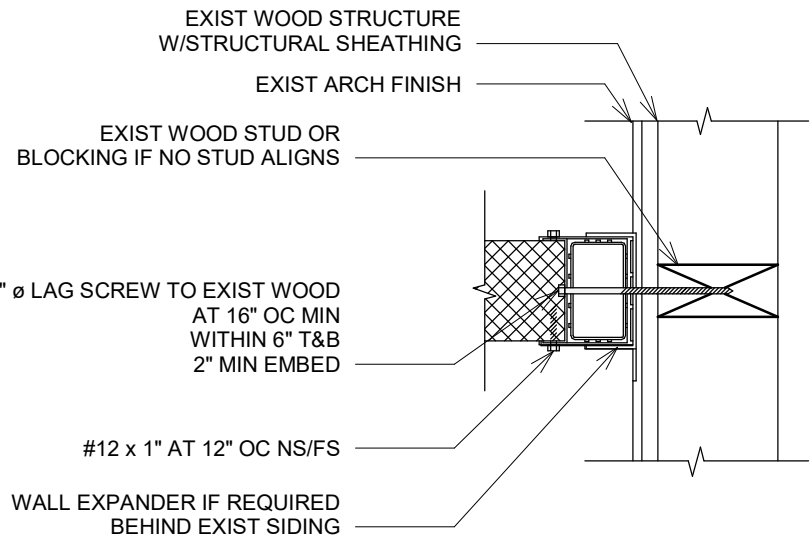
\*IMAGE FOR REFERENCE ONLY. COLORS AND MATERIALS TO MATCH EXISTING HOME.



2 L.S. COMPONENTS  
A11 1/2" = 1'-0"



3 TYP WALL SECTION  
A11 1/2" = 1'-0"



4 WALL ATTACHMENT  
A11 1/2" = 1'-0"

ROOF ASSEMBLY

- COMPOSITE SHINGLE ROOF
- CLASS A FIRE RATE
- ASTM E108 / UL 790 COMPLIANT



WINDOWS

- EXTERIOR DOORS SHALL COMPLY WITH CWUIC 504.9
- GLAZED DOORS: DUAL-PANEL TEMPERED GLASS
- ALUMINIUM FRAME (POWDER-COATED)



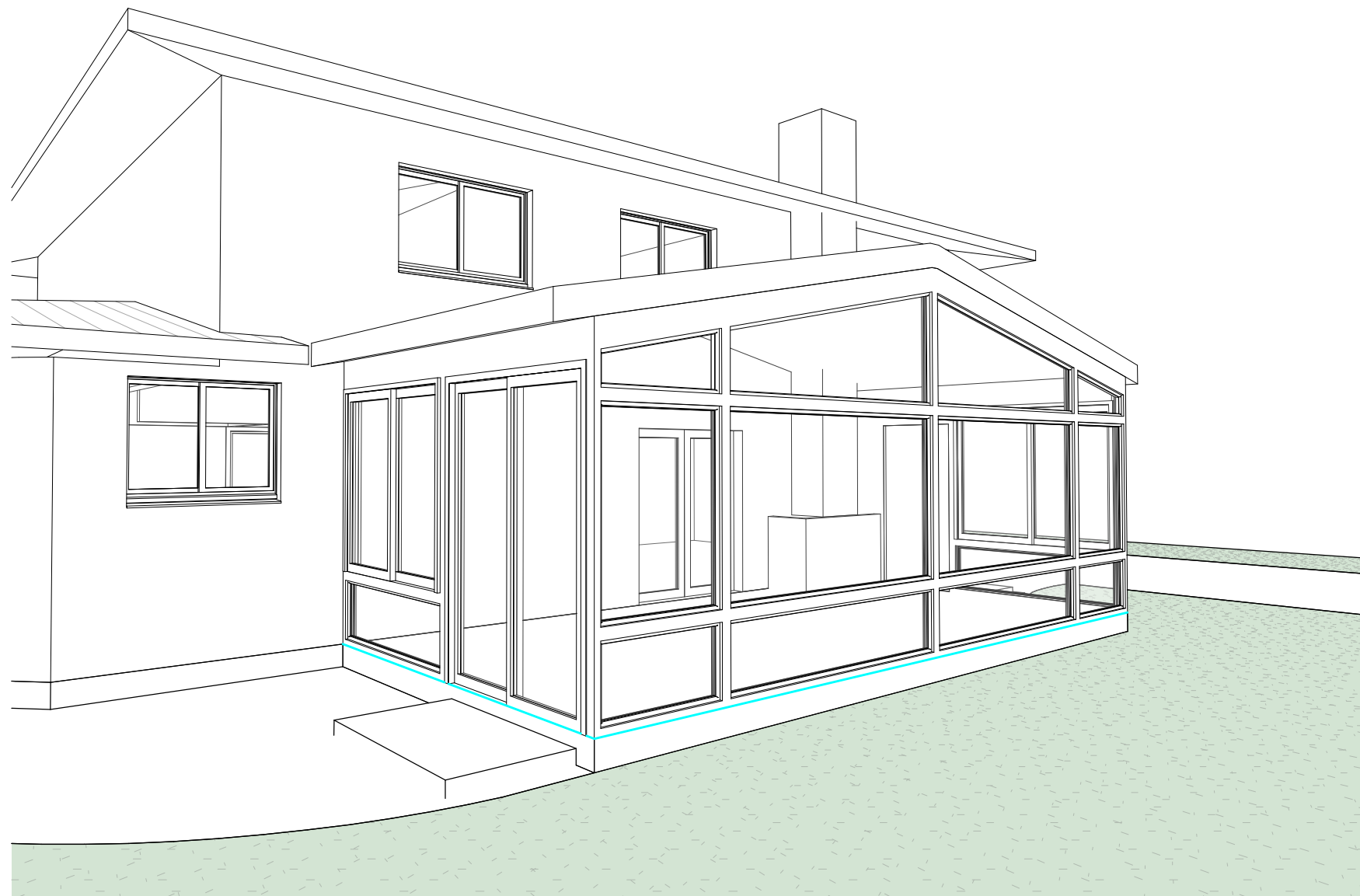
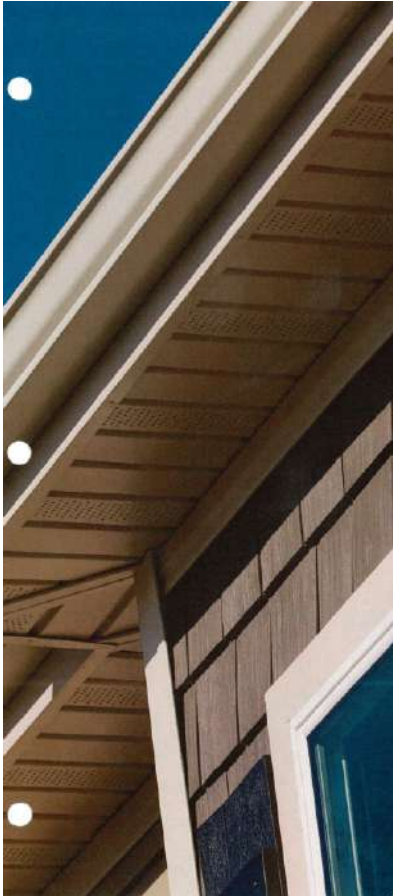
SLIDING DOORS

- COMPOSITE SHINGLE ROOF
- CLASS A FIRE RATE
- ASTM E108 / UL 790 COMPLIANT



EAVES/SOFFIT/FASCIA

1. ALUMINIUM FASCIA: POWDER-COATED ALUMINUM FASCIA SYSTEM COMPLYING WITH CWUIC IGNITION-RESISTANT MATERIAL REQUIREMENTS.
2. SOFFIT: PAINTED WOOD (CLOSED EAVES) PER CWUIC 504.3.1
3. ROOF OVERHANG: MIN. 12" OVERHANG TYP. PROTECTED OPEN EAVES PER CWUIC 504.3.1



1 3D View  
A11

KEY NOTES

- 1 (N) MOTION SENSOR OUTDOOR LIGHT. PRIOR TO INSTALLING, OWNER TO APPROVE FIXTURE.
- 2 (N) CEILING TRACK LIGHT. PRIOR TO INSTALLING, OWNER TO APPROVE FIXTURE.

LEGENDS

- ⏏ DUPLEX CONVENIENCE OUTLET W/ ARC FAULT PROTECTION
- ⚡ ELECTRICAL SWITCH 48" A.F.F.- U.N.O
- ⦿ RECESSED CAN LIGHTING

MATERIAL NOTES

1. EXTERIOR WALL SYSTEM TO UTILIZE STRUCTURAL INSULATED PANELS (SIP) PER ICC-ES ESR-1295.
2. EXTERIOR FINISH COLOR TO MATCH EXISTING RESIDENCE UNLESS OTHERWISE NOTED.
3. ROOF ASSEMBLY TO UTILIZE CLASS A COMPOSITE SHINGLES. PRODUCT: GAF TIMBERLINE HDZ WEATHERED WOOD OR APPROVED EQUIVALENT.
4. ALL EXTERIOR WINDOWS AND GLAZED DOORS SHALL UTILIZE DUAL-PANE TEMPERED GLASS.
5. WINDOWS AND DOORS SHALL BE VINYL OR ALUMINIUM FRAME SYSTEMS PER MANUFACTURER SPECIFICATIONS.
6. PROVIDE WEATHER-RESISTIVE FLASHING AND SEALANTS AT ALL OPENINGS AND TRANSITIONS.
7. EXTERIOR LIGHT FIXTURES SHALL BE DOWNWARD-DIRECTED AND SHIELDED.
8. INTERIOR WALL SURFACES SHALL INCLUDE MINIMUM 1/2" GYPSUM WALLBOARD THERMAL BARRIER.
9. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER REQUIREMENTS.

FIRE-RESISTANCE / WUI COMPLIANCE NOTES

1. PROJECT LOCATED WITHIN A WILDLAND-URBAN INTERFACE (WUI) FIRE AREA. ALL NEW CONSTRUCTION SHALL COMPLY WITH THE 2025 CALIFORNIA WILDLAND-URBAN INTERFACE CODE (CWUIC).
2. ALL ROOF ASSEMBLIES SHALL HAVE A CLASS A FIRE CLASSIFICATION IN ACCORDANCE WITH ASTM E108 OR UL 790.
3. EXTERIOR WALL ASSEMBLIES UTILIZE STRUCTURAL INSULATED PANELS (SIP) IN ACCORDANCE WITH ICC-ES ESR-1295.
4. SIP PANELS CONSIST OF EPS FOAM CORE LAMINATED BETWEEN OSB FACINGS WITH INTERIOR 1/2" GYPSUM WALLBOARD THERMAL BARRIER.
5. EXTERIOR SIDING, FASCIA, SOFFIT, AND TRIM MATERIALS SHALL BE IGNITION-RESISTANT OR FIRE-RETARDANT-TREATED FOR EXTERIOR USE.
6. OPEN EAVES SHALL BE PROTECTED IN ACCORDANCE WITH CWUIC 504.3.1.
7. PROVIDE MINIMUM 6" VERTICAL METAL FLASHING OR NONCOMBUSTIBLE MATERIAL AT WALL/ROOF, WALL/DECK, AND WALL/GRADE TRANSITIONS PER CWUIC 504.5.1.
8. ALL EXTERIOR WINDOWS, GLAZED OPENINGS, AND EXTERIOR DOORS SHALL COMPLY WITH CWUIC 504.8 AND 504.9.
9. ALL EXTERIOR GLAZING SHALL UTILIZE DUAL-PANE TEMPERED GLASS.
10. MANUFACTURER PRODUCT DATA, ESR REPORTS, AND FIRE-RATING DOCUMENTATION SHALL BE PROVIDED WITH THE PERMIT PACKAGE.

VALUE BUILDERS

An Addition / Remodeling For:

| Revision Schedule |      |             |
|-------------------|------|-------------|
| No.               | Date | Description |

SUBMITTED BY:

VALUE BUILDERS

SHEET NAME:

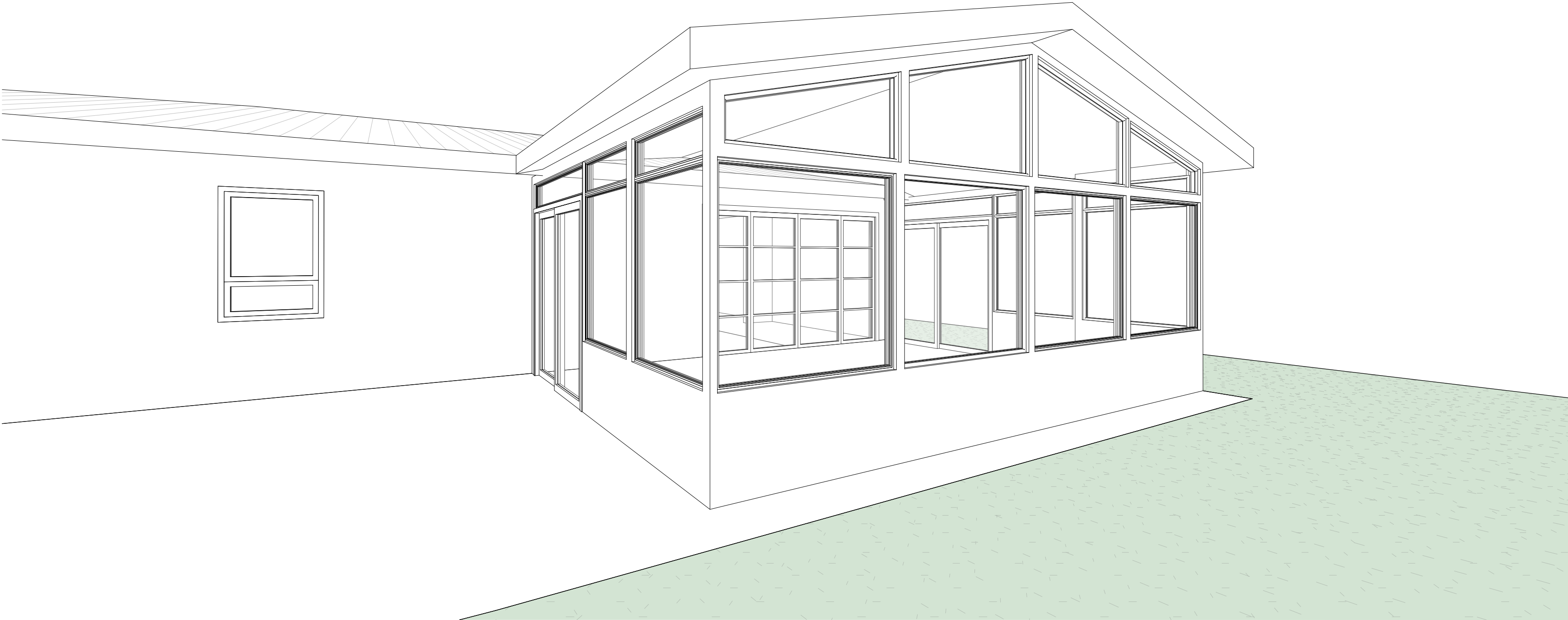
Materials

|           |                      |
|-----------|----------------------|
| DATE:     | 7/22/2026 2:58:08 PM |
| SCALE:    | 1/2" = 1'-0"         |
| DRAWN BY: | Samantha James       |
| CHECKED:  | Checker              |
| SHEET:    |                      |

A11

# CASTLEWOOD - PATIO ENCLOSURE

VALUE BUILDERS

| PROJECT LOCATION                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | PROJECT INFORMATION                                                                                                                                                                                                                                                                                                                                                                            | SHEET INDEX                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | PROPERTY OWNER<br><br>PROPERTY ADDRESS<br><br><br>APN<br>YEAR BUILT<br>LOT SQ FT<br>OCCUPANCY GROUP<br><br>TYPE OF CONST.<br><br>STORIES<br><br># BEDROOMS<br># BATHROOMS<br><br>SCOPE OF WORK:<br><br>TOTAL COST:                                                                                                                                                                             | <b>A - ARCHITECTURAL PLANS</b><br><br>A1 COVER SHEET & PROJECT INFORMATION<br>A2 SITE PLAN<br>A3 EXISTING AND PROPOSED FIRST FLOOR PLAN<br>A4 EXISTING AND PROPOSED BACK ELEVATION<br>A5 EXISTING AND PROPOSED WEST ELEVATION<br>A6 EXISTING AND PROPOSED EAST ELEVATION<br>A7 SECTIONS<br>A8 DOOR & WINDOWS SCHEDULES<br>A9 ELECTRICAL LAYOUT & DETAILS<br>A10 MATERIALS<br><br><b>S- STRUCTURAL</b><br><br>S1 GENERAL NOTES<br>S2 GENERAL NOTES<br>S3 WALL FRAMING PLAN<br>S4 ROOF FRAMING PLAN<br>S5 ELEVATIONS<br>S6 SUNROOM DETAILS<br>S6.1 MISC DETAILS<br><br><b>G- GENERAL NOTES</b><br><br>G1 POLLUTION PREVENTION PLAN |
|                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | SUBMITTED BY                                                                                                                                                                                                                                                                                                                                                                                   | SCOPE OF WORK                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | AREA OF WORK                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | PATIO ENCLOSURE #1<br>PROJECT SQ FT: 266                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | AREA CALCULATION                                                                                                                                                                                                                                                                                                                                                                               | SCOPE OF WORK                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | <div>EXISTING<br/>(E) LOT SQ<br/>(E) EXISTING FLOOR AREA<br/><br/>EXISTING LOT COVERAGE<br/><br/><br/>PROPOSED<br/>(E) PROPOSED FLOOR AREA<br/>INCLUDING PATIO ENCLOSURE (266 SF)<br/><br/>LOT COVERAGE</div> <div>6,050 SF<br/>2,673 SF<br/><br/>28,80 %<br/><br/><br/>2,939 SF<br/>48,60 %</div>                                                                                             | DEMOLISH THE EXISTING ROOM AND CONSTRUCT A NEW GABLED PATIO ENCLOSURE ON THE EXISTING CONCRETE SLAB WITHIN THE SAME FOOTPRINT AND LOCATION. THIS PROJECT CONSISTS OF REPLACING THE EXISTING ROOM AND DOES NOT INCLUDE A NEW ADDITION OR EXPANSION BEYOND THE EXISTING FOOTPRINT.                                                                                                                                                                                                                                                                                                                                                 |
| VICINITY MAP                                                                                                                                                | GENERAL NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | APPLICABLE CODES                                                                                                                                                                                                                                                                                                                                                                               | SYMBOL LEGEND                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|  <div>PROJECT SITE:<br/>4988 CASTLEWOOD DR,<br/>SAN JOSE, CA 95129</div> | <ul style="list-style-type: none"><li>• SINGLE-FAMILY RESIDENCE.</li><li>• PROPOSED PATIO ENCLOSURES ARE ACCESSORY, NON-HABITABLE CATEGORY III SUNROOM ADDITIONS.</li><li>• PROPOSED PATIO ENCLOSURES SHALL COMPLY WITH CRC SECTION R301.2.1.1.1.</li><li>• NO TREES ARE LOCATED NEAR THE PROPOSED PROJECT AREA; TREE PROTECTION MEASURES ARE NOT REQUIRED.</li><li>• EXISTING RESIDENCE IS NOT EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS.</li><li>• NO MODIFICATIONS TO THE EXISTING FIRE SPRINKLER SYSTEM ARE PROPOSED UNDER THIS PERMIT.</li><li>• NO WORK IS PROPOSED ON THE EXISTING MAIN ELECTRICAL PANEL UNDER THIS PERMIT.</li></ul> | <p>2025 INTERNATIONAL RESIDENTIAL CODE (IRC)<br/>2025 INTERNATIONAL BUILDING CODE (IBC) – WHERE APPLICABLE<br/>2025 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)<br/>2025 INTERNATIONAL FIRE CODE (IFC)<br/>2025 WILDLAND-URBAN INTERFACE / FHIR REQUIREMENTS (AS ADOPTED BY LOCAL JURISDICTION)</p> <p>ALL WORK SHALL COMPLY WITH THE CURRENTLY ADOPTED 2025 CODES AND LOCAL AMENDMENTS.</p> | <div><div><br/>NORTH ARROW</div><div><br/>SECTION REFERENCE SHEET NUMBER</div><div><br/>DETAIL REFERENCE SHEET NUMBER</div><div><br/>REVISION CLOUD</div><div><br/>REVISION NUMBER</div><div><br/>WINDOW REFERENCE</div></div> <div><div><br/>KEYNOTE REFERENCE</div><div><br/>SPOT ELEVATION</div><div><br/>PROPERTY LINE</div><div><br/>CENTER LINE</div><div><br/>WALL TYPE REFERENCE</div></div>                                                                                                                                                                                                                             |
| Cover Sheet                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |

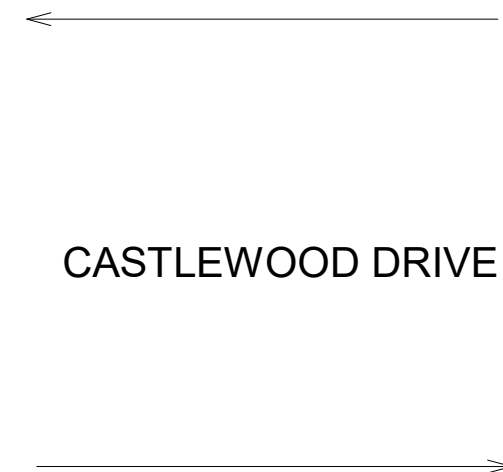
4988 CASTLEWOOD DR  
PATIO ENCLOSURE

OWNER

SUBMITTED BY:  
  
VALUE BUILDERS INC.

SHEET NAME:  
  
Cover Sheet

DATE: 7/15/2026 12:29:46 PM  
SCALE:  
DRAWN: BM  
JOB:  
SHEET:  
**A1**



CURBLINE

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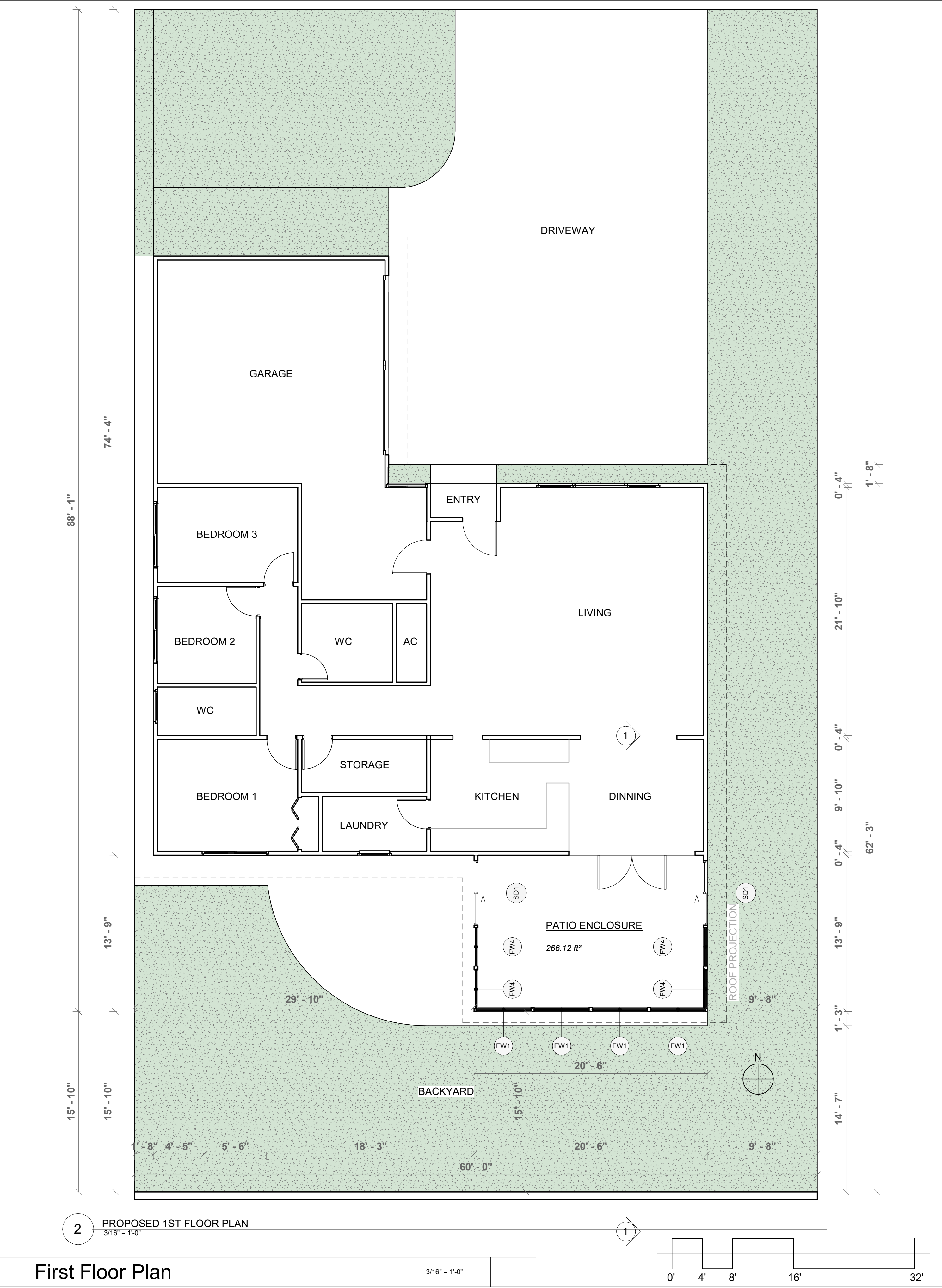
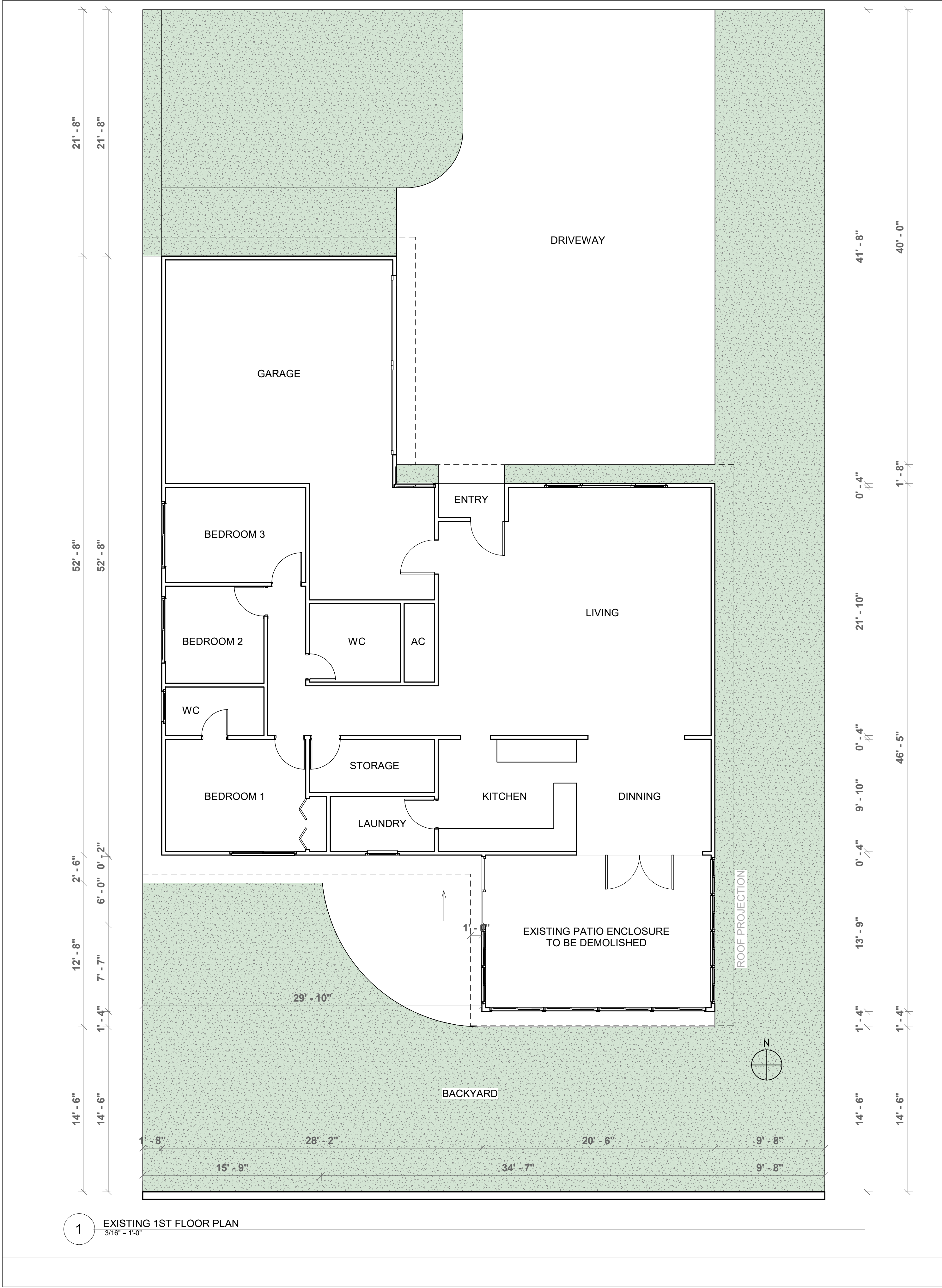
SIDEWALK



2 PROPOSED SITE PLAN  
3/32" = 1'-0"

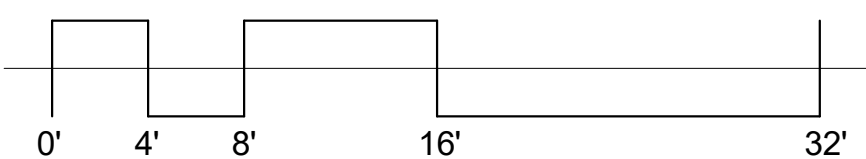
$$3/32'' = 1'-0''$$

## A2



First Floor Plan

3/16" = 1'-0"



VALUE BUILDERS

4988 CASTLEWOOD DR  
PATIO ENCLOSURE

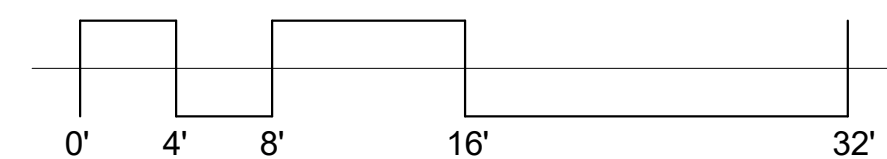
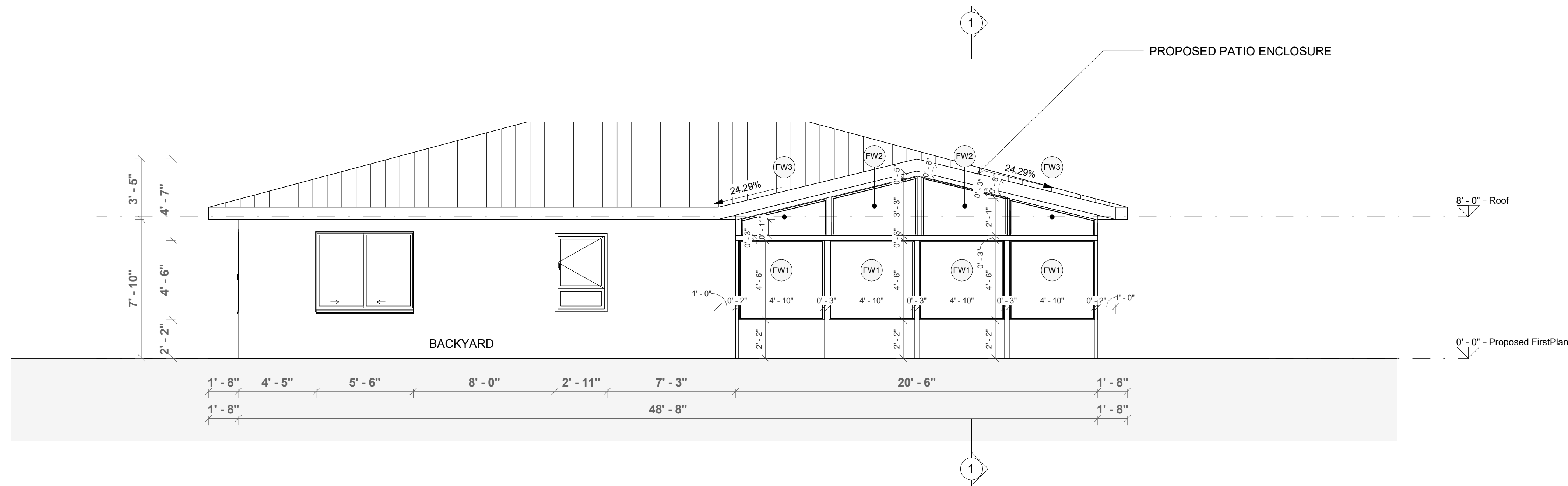
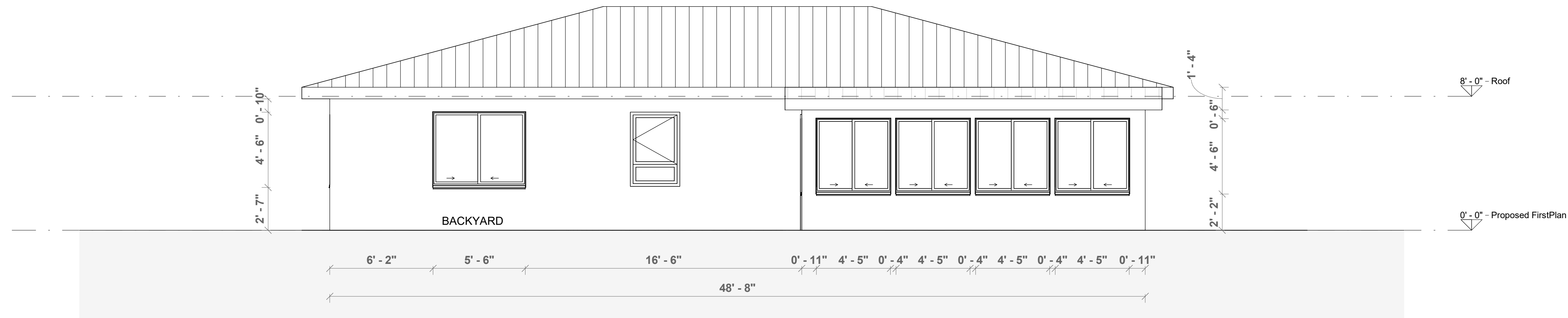
OWNER

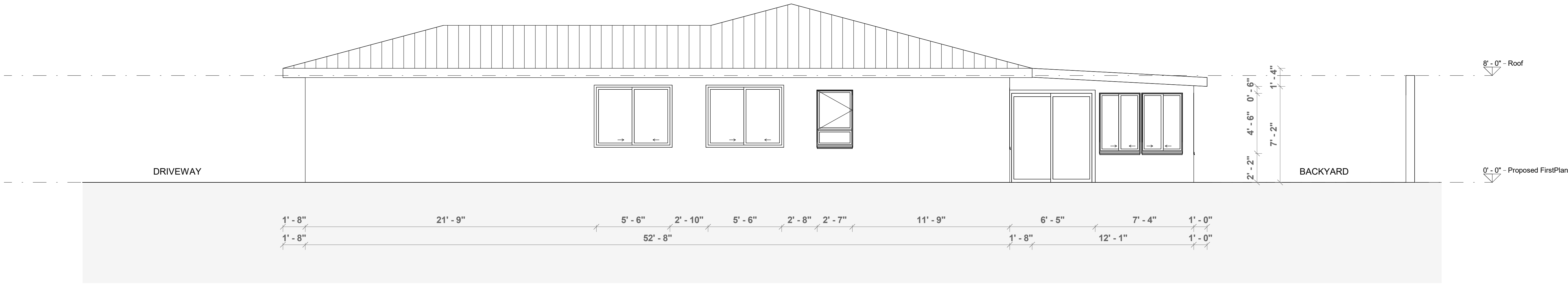
SUBMITTED BY:  
VALUE BUILDERS INC.

SHEET NAME:  
First Floor Plan

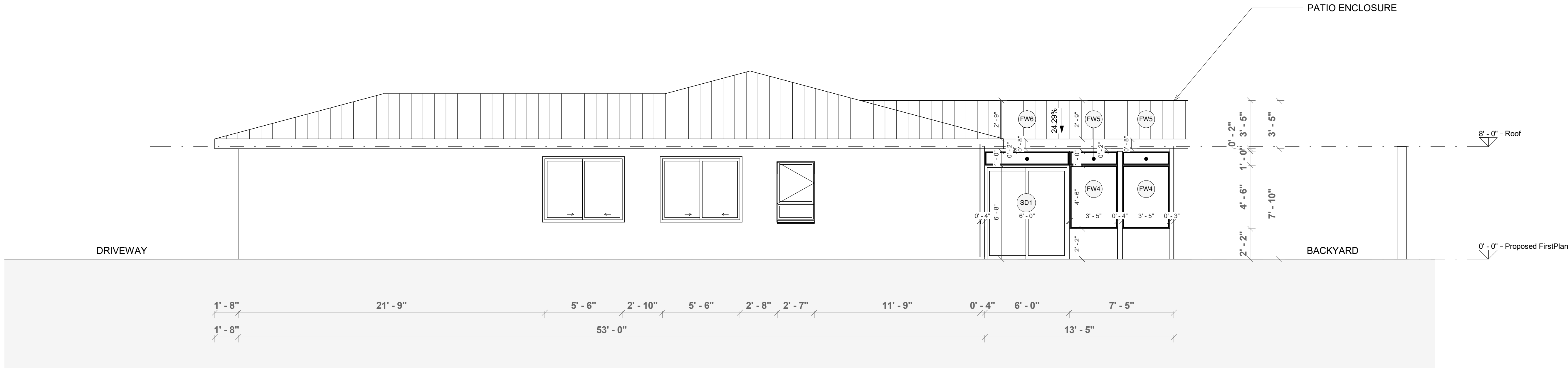
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JOB:  
SHEET:

A3





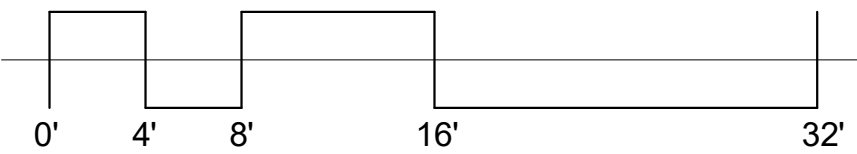
2 Existing East Elevation  
A6 1/4" = 1'-0"



1 Proposed East Elevation  
A6 1/4" = 1'-0"

East Elevation

1/4" = 1'-0"





1 Existing North Elevation  
1/4" = 1'-0"



2 Proposed North Elevation Without Patio Enclosure  
1/4" = 1'-0"



3 Proposed North Elevation with Patio Enclosure  
1/4" = 1'-0"

NOTE:  
SEE CALCULATIONS & STRUCTURAL  
DETAILS ON STRUCTURAL PACKAGE

#### AREA CALCULATION

|                         |           |                     |          |
|-------------------------|-----------|---------------------|----------|
| EXISTING                |           | PROPOSED            |          |
| (E) EXISTING FLOOR AREA | 4,954 SF  | (E) MAIN HOUSE      | 4,954 SF |
| (E) LOT ACRE            | 12,012 SF | (P) PATIO ENCLOSURE | 240 SF   |

|                       |        |              |        |
|-----------------------|--------|--------------|--------|
| EXISTING LOT COVERAGE | 41,2 % | LOT COVERAGE | 43,2 % |
|-----------------------|--------|--------------|--------|

#### GENERAL NOTES

1. FIELD VERIFY DIMENSIONS PRIOR TO CONSTRUCTION.
2. NO PROPOSED LANDSCAPE
3. NO EXISTING EASEMENTS ON SITE
4. CONTRACTOR TO COMPLY WITH ALL CAL/OSHA REQUIREMENTS AND CITY ORDINANCE.
5. NO WORK PROPOSED IN THE PUBLIC RIGHT OF WAY AS PART OF THIS PERMIT APPLICATION.
6. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO LOCATE PROPERTY LINES AND CONFORM TO SET BACK REQUIREMENTS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP OF ALL SILT AND MUD ON ADJACENT STREETS DUE TO THE CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORKDAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET, A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION OR EQUIPMENT FROM TRACKING MUD OR SILT INTO THE STREET.
8. ALL STOCKPILES OF SOIL AND OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED.
9. THE STORAGE OF ALL CONSTRUCTION MATERIAL AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
10. EXISTING RESIDENCE IS NOT FIRE SPRINKLED

VALUE  
BUILDERS

20 ARUNDEL DRIVE  
PATIO ENCLOSURE

OWNER

DRAWN BY:

Samantha James

SHEET NAME:

Existing  
and  
Proposed  
Elevations

DATE: 06/15/2026

SCALE: 1/4" = 1'-0"

DRAWN: SJ

JOB:

SHEET:

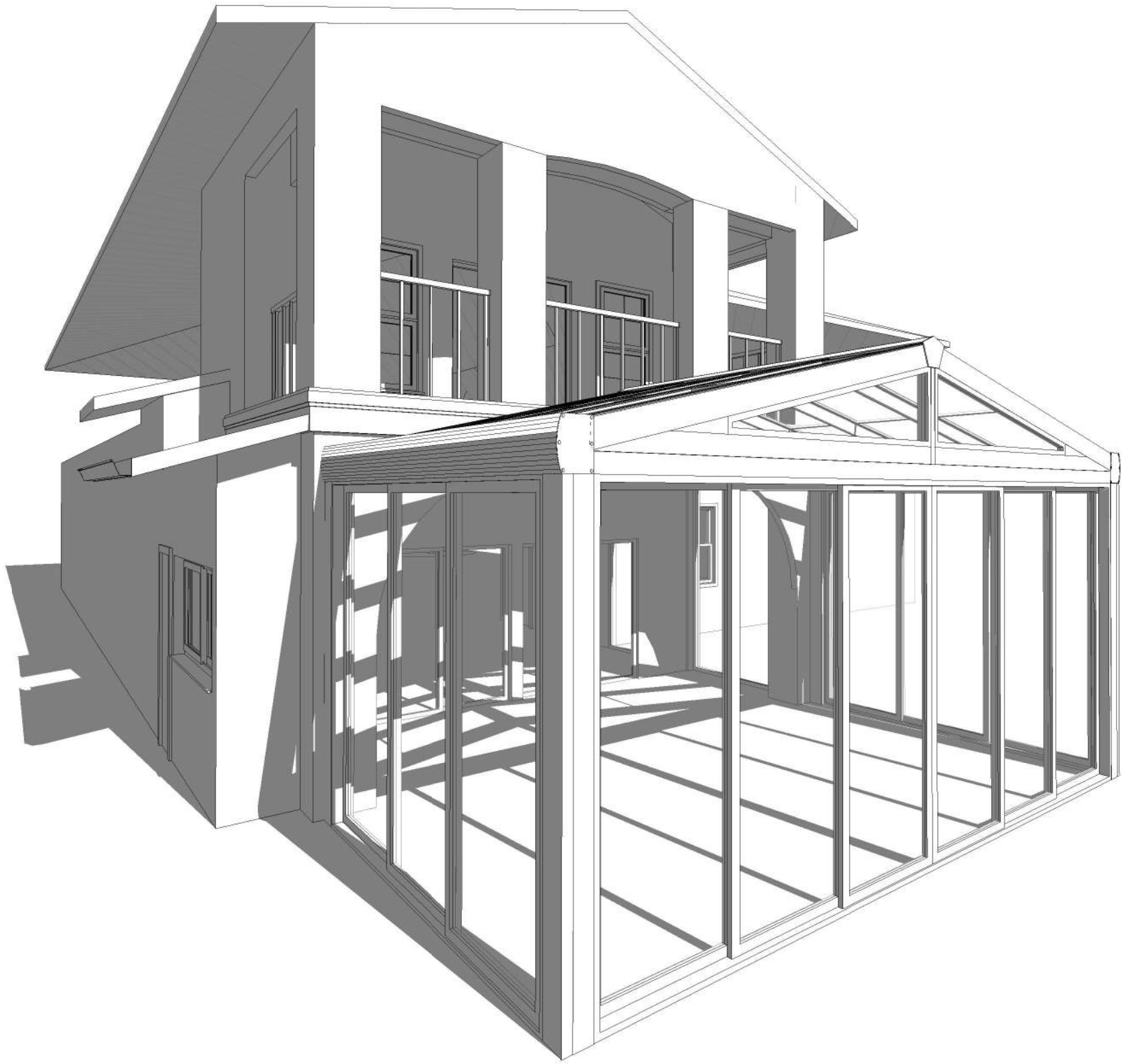
A4

Existing and Proposed Elevations

1/4" = 1'-0"



\*IMAGE FOR REFERENCE ONLY, COLORS AND MATERIALS TO MATCH EXISTING HOME.



Materials

MATERIAL NOTES

- SUNROOM WALL SYSTEM SHALL CONSIST OF MANUFACTURER-PROVIDED STRUCTURAL WALL PANELS WITH INSULATED WALL CONSTRUCTION, INCLUDING THERMAL CLADDING AND WEATHER-RESISTIVE COMPONENTS INSTALLED IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS.
- EXTERIOR WALLS SHALL PROVIDE A MINIMUM THICKNESS OF 3-1/2 INCHES TO 4 INCHES AND SHALL BE DESIGNED TO MATCH OR EXCEED THE ENERGY PERFORMANCE OF THE EXISTING RESIDENCE.
- EXTERIOR FINISH SHALL CONSIST OF A FIRE-RATED OR IGNITION-RESISTANT FINISH SYSTEM. FINISH COLOR SHALL MATCH THE EXISTING RESIDENCE UNLESS OTHERWISE NOTED.
- ROOF ASSEMBLY SHALL UTILIZE A CLASS A FIRE-RATED ROOF COVERING. PRODUCT: GAF TIMBERLINE HDZ WEATHERED WOOD SHINGLES OR APPROVED EQUIVALENT.
- ALL EXTERIOR WINDOWS AND GLAZED DOORS SHALL UTILIZE INSULATED DUAL-PANE TEMPERED GLASS.
- WINDOWS AND DOORS SHALL BE MANUFACTURER-PROVIDED VINYL OR ALUMINUM FRAME SYSTEMS WITH FUSION-WELDED CORNERS OR APPROVED EQUIVALENT CONSTRUCTION.
- WEATHER STRIPPING, FLASHING, SEALANTS, AND WEATHER-RESISTIVE BARRIERS SHALL BE PROVIDED AT ALL EXTERIOR OPENINGS AND TRANSITIONS IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS.
- THERMAL CLADDING AND RELATED COMPONENTS SHALL BE INSTALLED TO MINIMIZE AIR INFILTRATION, WATER INTRUSION, AND THERMAL BRIDGING.
- EXTERIOR LIGHT FIXTURES, WHERE PROVIDED, SHALL BE DOWNWARD-DIRECTED AND SHIELDED.
- INTERIOR WALL SURFACES SHALL BE FINISHED WITH A MINIMUM 1/2-INCH GYPSUM WALLBOARD THERMAL BARRIER WHERE REQUIRED.
- ALL MATERIALS, COMPONENTS, AND ASSEMBLIES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT INSTALLATION INSTRUCTIONS AND APPLICABLE BUILDING CODE REQUIREMENTS.

FIRE-RESISTANCE / WUI COMPLIANCE NOTES

- PROJECT IS LOCATED WITHIN A WILDLAND-URBAN INTERFACE (WUI) FIRE AREA. ALL NEW CONSTRUCTION SHALL COMPLY WITH THE 2025 CALIFORNIA WILDLAND-URBAN INTERFACE CODE (CWUIC).
- ALL ROOF ASSEMBLIES SHALL HAVE A CLASS A FIRE CLASSIFICATION IN ACCORDANCE WITH ASTM E108 OR UL 790.
- SUNROOM WALL SYSTEM CONSISTS OF STRUCTURAL FIBERGLASS MEMBERS, STRUCTURAL ALUMINUM TUBES, AND PVC CLADDING AS PROVIDED BY THE MANUFACTURER.
- FIBERGLASS AND PVC COMPONENTS UTILIZED IN THE SUNROOM WALL SYSTEM SHALL HAVE A UL 94 V-0 FLAMMABILITY CLASSIFICATION. ALUMINUM COMPONENTS ARE NONCOMBUSTIBLE.
- EXTERIOR WALL FINISHES SHALL CONSIST OF FIRE-RATED, IGNITION-RESISTANT, OR OTHERWISE APPROVED MATERIALS COMPLYING WITH CWUIC REQUIREMENTS. FINAL FINISH MAY CONSIST OF STUCCO, FIRE-RATED SIDING, OR OTHER APPROVED EXTERIOR FINISH.
- INSULSPAN STRUCTURAL INSULATED PANELS (SIP), WHERE INDICATED ON THE DRAWINGS, SHALL BE INSTALLED IN ACCORDANCE WITH ICC-ES ESR-1295.
- INSULSPAN SIP WALL ASSEMBLIES MAY ACHIEVE A ONE-HOUR FIRE-RESISTANCE RATING WHEN INSTALLED IN ACCORDANCE WITH ESR-1295, SECTION 4.2.4.
- EXTERIOR SIDING, FASCIA, SOFFIT, AND TRIM MATERIALS SHALL BE IGNITION-RESISTANT OR FIRE-RETARDANT-TREATED FOR EXTERIOR USE AS REQUIRED BY CWUIC.
- OPEN EAVES SHALL BE PROTECTED IN ACCORDANCE WITH CWUIC SECTION 504.3.1.
- PROVIDE MINIMUM 6-INCH VERTICAL METAL FLASHING OR OTHER APPROVED NONCOMBUSTIBLE MATERIAL AT WALL/ROOF, WALL/DECK, AND WALL/GRADE TRANSITIONS AS REQUIRED BY CWUIC SECTION 504.5.1.
- ALL EXTERIOR WINDOWS, GLAZED OPENINGS, AND EXTERIOR DOORS SHALL COMPLY WITH CWUIC SECTIONS 504.8 AND 504.9.
- ALL EXTERIOR GLAZING SHALL CONSIST OF INSULATED DUAL-PANE TEMPERED GLASS.
- MANUFACTURER PRODUCT DATA, ICC-ES REPORTS, AND SUPPORTING FIRE PERFORMANCE DOCUMENTATION SHALL BE PROVIDED WITH THE PERMIT SUBMITTAL.

ROOF ASSEMBLY

- ALUMINUM MULLION FRAMING SYSTEM.
- GLAZED ROOF PANELS CONSISTING OF 1/4" SOLAR LOW-E GLASS, 9/16" AIR SPACE, AND 5/32" + 5/32" LAMINATED GLASS.
- ALUMINUM CLADDING AND ALUMINUM TRANSOM/TRANSMISSION PROFILES AS PROVIDED BY MANUFACTURER.
- 2" X 6" STEEL STRUCTURAL PROFILES WHERE INDICATED.
- ASSEMBLY SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND ENGINEERED DESIGN DOCUMENTS.
- ROOF ASSEMBLY SHALL COMPLY WITH APPLICABLE FIRE-RESISTANCE REQUIREMENTS OF THE ADOPTED BUILDING CODE.

WINDOWS

- ALUMINUM FRAME WINDOW SYSTEM WITH POWDER-COATED FINISH.
- INSULATED GLAZING CONSISTING OF 1/4" SOLAR LOW-E GLASS, 9/16" AIR SPACE, AND 5/32" + 5/32" LAMINATED GLASS.
- ALL GLAZING SHALL BE SAFETY GLASS WHERE REQUIRED BY CODE.
- WINDOW ASSEMBLIES SHALL COMPLY WITH CWUIC SECTION 504.8.
- WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND ENGINEERED DESIGN DOCUMENTS.

SLIDING DOORS

- POWDER-COATED ALUMINUM FRAME SYSTEM.
- INSULATED GLAZING CONSISTING OF 1/4" SOLAR LOW-E GLASS, 9/16" AIR SPACE, AND 5/32" + 5/32" LAMINATED GLASS.
- ALL GLAZING SHALL BE SAFETY GLASS IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
- DOOR ASSEMBLIES SHALL COMPLY WITH CWUIC SECTION 504.9.
- INSTALL IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND ENGINEERED DESIGN DOCUMENTS.

EAVES/SOFFIT/FASCIA

- FASCIA:
- POWDER-COATED ALUMINUM FASCIA SYSTEM.
  - ALUMINUM COMPONENTS SHALL BE NONCOMBUSTIBLE.
- SOFFIT:
- MANUFACTURER-PROVIDED SOFFIT SYSTEM WITH UL 94 V-0 FLAMMABILITY CLASSIFICATION.
  - SOFFIT MATERIALS SHALL COMPLY WITH APPLICABLE CWUIC REQUIREMENTS.
- EAVES / ROOF OVERHANG:
- CLOSED EAVE CONSTRUCTION SHALL BE PROVIDED.
  - EAVE ASSEMBLIES SHALL COMPLY WITH CWUIC SECTION 504.3.1.
  - ALL EXPOSED COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.

VALUE BUILDERS

20 ARUNDEL DRIVE  
PATIO ENCLOSURE

OWNER

DRAWN BY:

Samantha James

SHEET NAME:

Materials

DATE: 06/15/2026

SCALE:

DRAWN: SJ

JOB:

SHEET:

A8



FRONT ELEVATIONS

1/4" = 1'-0"

PROJECT INFORMATION

PROPERTY OWNER  
PROPERTY ADDRESS  
  
APN  
YEAR BUILT 1987  
LOT SQ FT 6,229  
  
SCOPE OF WORK: Patio enclosure  
TOTAL COST: 64,202

AREA CALCULATION

**EXISTING**  
(E) EXISTING FLOOR AREA 2,122 SF  
(E) LOT SQ 6,229 SF  
  
EXISTING LOT COVERAGE 20 %  
  
**PROPOSED**  
(E) MAIN HOUSE 1,223.7 SF  
(P) PATIO ENCLOSURE 392 SF  
  
LOT COVERAGE 26 %

OWNER INFORMATION

APPLICABLE CODES

THESE PLANS AND WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY COUNTY OF CONTRA MESA  
  
2025 CALIFORNIA BUILDING STANDARD CODE  
  
2025 CALIFORNIA RESIDENTIAL CODE  
2025 CALIFORNIA ELECTRICAL CODE  
2025 CALIFORNIA PLUMBING CODE  
2025 ENERGY CODE & CALIFORNIA GREEN BUILDING STANDARDS CODE

SYMBOL LEGEND

- |  |                                |  |                     |
|--|--------------------------------|--|---------------------|
|  | NORTH ARROW                    |  | KEYNOTE REFERENCE   |
|  | SECTION REFERENCE SHEET NUMBER |  | SPOT ELEVATION      |
|  | DETAIL REFERENCE SHEET NUMBER  |  | PROPERTY LINE       |
|  | REVISION CLOUD                 |  | CENTER LINE         |
|  | REVISION NUMBER                |  | WALL TYPE REFERENCE |
|  | WINDOW REFERENCE               |  |                     |

VALUE BUILDERS

OWNER

Submitted by:

DESIGN BY:

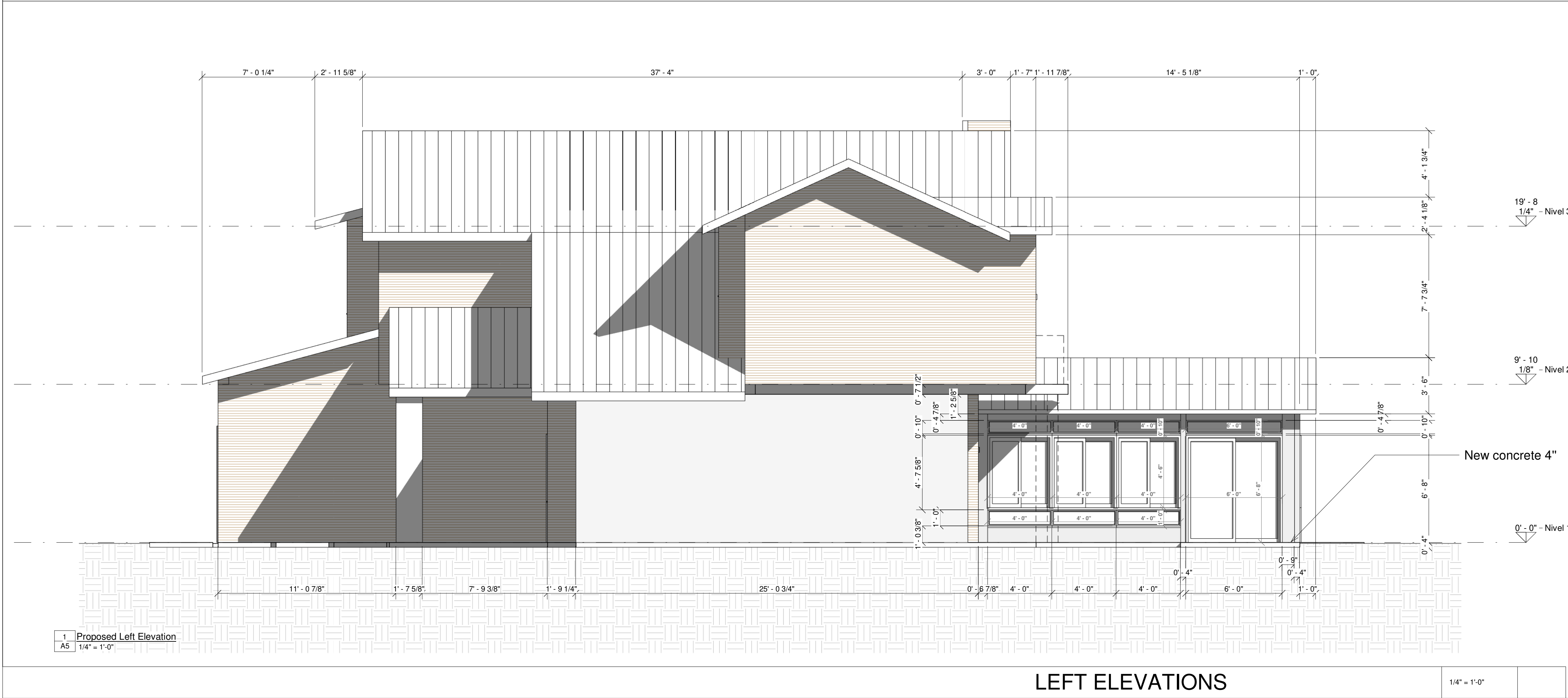
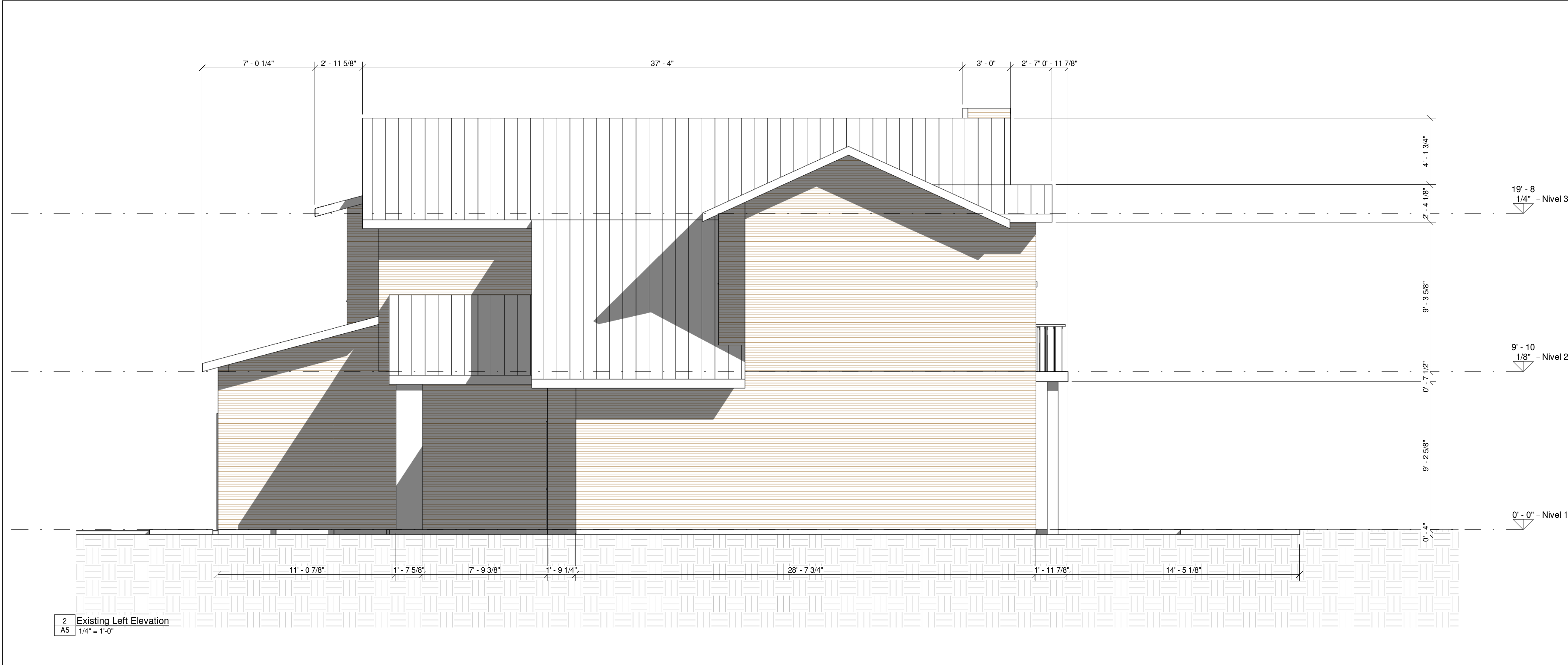
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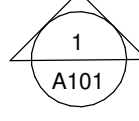
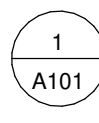
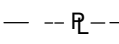
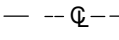
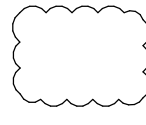
SHEET NAME:

FRONT ELEVATIONS

DATE: 02/13/26  
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DRAWN: BM  
JOB:  
SHEET:

A3



| PROJECT INFORMATION                                                                                                                                                     |                                |                                                                                       |                     |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|---------------------------------------------------------------------------------------|---------------------|
| PROPERTY OWNER                                                                                                                                                          |                                |                                                                                       |                     |
| PROPERTY ADDRESS                                                                                                                                                        |                                |                                                                                       |                     |
| APN                                                                                                                                                                     |                                |                                                                                       |                     |
| YEAR BUILT                                                                                                                                                              | 1987                           |                                                                                       |                     |
| LOT SQ FT                                                                                                                                                               | 6,229                          |                                                                                       |                     |
| SCOPE OF WORK:                                                                                                                                                          | Patio enclosure                |                                                                                       |                     |
| TOTAL COST:                                                                                                                                                             | 64,202                         |                                                                                       |                     |
| AREA CALCULATION                                                                                                                                                        |                                |                                                                                       |                     |
| EXISTING                                                                                                                                                                |                                |                                                                                       |                     |
| (E) EXISTING FLOOR AREA                                                                                                                                                 | 2,122 SF                       |                                                                                       |                     |
| (E) LOT SQ                                                                                                                                                              | 6,229 SF                       |                                                                                       |                     |
| EXISTING LOT COVERAGE                                                                                                                                                   | 20 %                           |                                                                                       |                     |
| PROPOSED                                                                                                                                                                |                                |                                                                                       |                     |
| (E) MAIN HOUSE                                                                                                                                                          | 1,223.7 SF                     |                                                                                       |                     |
| (P) PATIO ENCLOSURE                                                                                                                                                     | 392 SF                         |                                                                                       |                     |
| LOT COVERAGE                                                                                                                                                            | 26 %                           |                                                                                       |                     |
| OWNER INFORMATION                                                                                                                                                       |                                |                                                                                       |                     |
|                                                                                                                                                                         |                                |                                                                                       |                     |
|                                                                                                                                                                         |                                |                                                                                       |                     |
| APPLICABLE CODES                                                                                                                                                        |                                |                                                                                       |                     |
| THESE PLANS AND WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY COUNTY OF CONTRA MESA |                                |                                                                                       |                     |
| 2025 CALIFORNIA BUILDING STANDARD CODE                                                                                                                                  |                                |                                                                                       |                     |
| 2025 CALIFORNIA RESIDENTIAL CODE                                                                                                                                        |                                |                                                                                       |                     |
| 2025 CALIFORNIA ELECTRICAL CODE                                                                                                                                         |                                |                                                                                       |                     |
| 2025 CALIFORNIA PLUMBING CODE                                                                                                                                           |                                |                                                                                       |                     |
| 2025 ENERGY CODE & CALIFORNIA GREEN BUILDING STANDARDS CODE                                                                                                             |                                |                                                                                       |                     |
| SYMBOL LEGEND                                                                                                                                                           |                                |                                                                                       |                     |
|                                                                                    | NORTH ARROW                    |  | KEYNOTE REFERENCE   |
|                                                                                    | SECTION REFERENCE SHEET NUMBER |  | SPOT ELEVATION      |
|                                                                                    | DETAIL REFERENCE SHEET NUMBER  |  | PROPERTY LINE       |
|                                                                                                                                                                         |                                |  | CENTER LINE         |
|                                                                                    | REVISION CLOUD                 |  | WALL TYPE REFERENCE |
|                                                                                    | REVISION NUMBER                |                                                                                       |                     |
|                                                                                    | WINDOW REFERENCE               |                                                                                       |                     |

VALUE BUILDERS

OWNER

Submitted by:

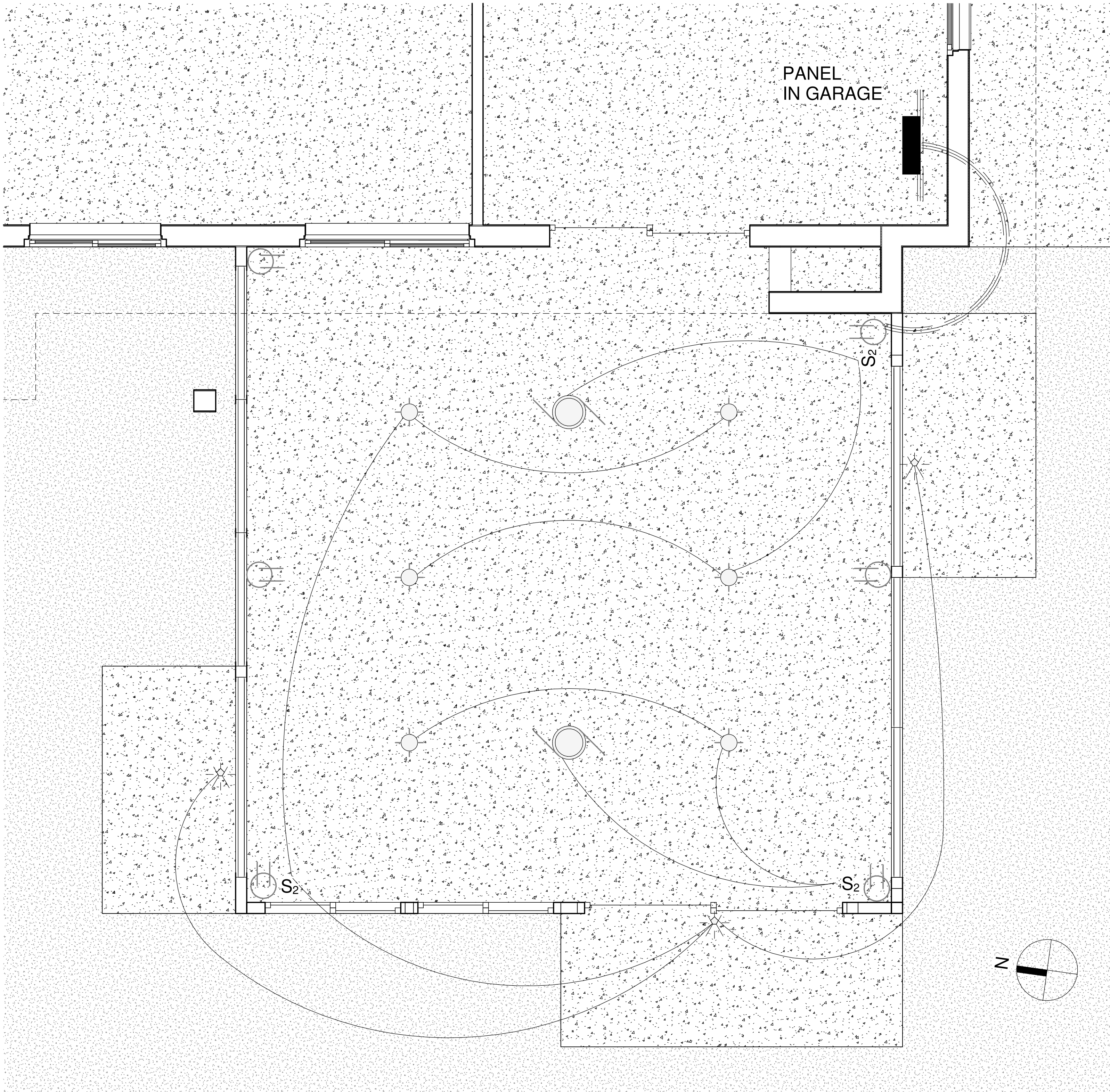
DESIGN BY:

SUBMITTED BY:

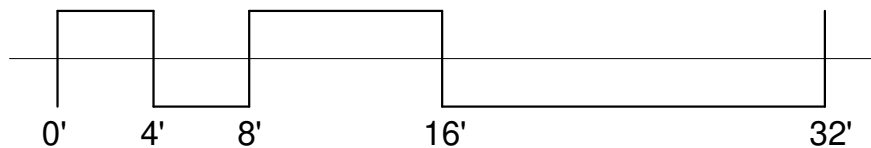
SHEET NAME:  
LEFT ELEVATIONS

DATE: 02/13/26  
SCALE: 1/4" = 1'-0"  
DRAWN: BM  
JOB:  
SHEET:

A5



1 ELECTRICAL LAYOUT &  
A6 DETAILS



ELECTRICAL LAYOUT & DETAILS

1/2" = 1'-0"

PROJECT INFORMATION

PROPERTY OWNER

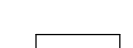
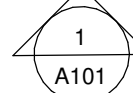
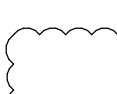
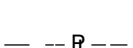
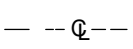
PROPERTY ADDRESS

APN  
YEAR BUILT 1987  
LOT SQ FT 6,229

SCOPE OF WORK: Patio enclosure

TOTAL COST: 64,202

LEGENDS

-  ELECTRICAL SWITCH BOX
-  DUPLEX CONVENIENCE OUTLET  
W/ ARC FAULT PROTECTION
-  S<sub>2</sub> ELECTRICAL SWITCH 48" A.F.F.- U.N.O
-  RECESSED CAN LIGHTING
-  CEILING FAN
-  PATIO SENSOR LIGHT ANGLE DOWN
-  NORTH ARROW
-  SECTION REFERENCE  
SHEET NUMBER
-  DETAIL—  
REFERENCE  
SHEET NUMBER
-  REVISION CLOUD
-  REVISION NUMBER
-  WINDOW REFERENCE
-  KEYNOTE  
REFERENCE
-  SPOT ELEVATION
-  PROPERTY LINE
-  CENTER LINE
-  WALL TYPE  
REFERENCE

LIGHTING NOTES

- ALL LUMINARIES IN OTHER ROOMS SHALL BE HIGH EFFICIENCY AND SHALL HAVE A MANUEL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER
- FLUORESCENT FIXTURES MUST BE OF THE BALLASTED TYPE THAT CAN ONLY ACCEPT FLUORESCENT BULBS WITH MINIMUM EFFICACY OF 40 LUMENS PER WATT. ALL FLUORESCENT FIXTURES ARE TO BE HIGH EFFICACY PER CEC 150(K)
- OUTDOOR LIGHTING MOUNTED TO THE BUILDING SHALL BE HIGH EFFICACY LUMINARIES AND MUST BE CONTROLLED BY A MANUAL ON/OFF SWITCH AND CONTROLLED BY NONE OF THESE AUTOMATIC CONTROL TYPES: PHOTOCONTROL AND A MOTION SENSOR OR ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT CONTROL SYSTEM (EMCS).
- PROVIDE WEATHER PROTECTION FOR EXTERIOR LIGHTING FIXTURES
- ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLES OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE OUTLETS PER CEC 406.11
- ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS, (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES) LAUNDRY, UTILITY, WET BAR, SINKS (WITHIN 6 FEET OF THE EDGE OF SINK) SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION CEC 210.8

IMPORTANT NOTES

- R327.1.2 ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS.
- ELECTRICAL RECEPTACLE OUTLETS, SWITCHES, AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR

VALUE  
BUILDERS

OWNER

Submitted by:

DESIGN BY:

SUBMITTED BY:

SHEET NAME:

ELECTRICAL  
LAYOUT &  
DETAILS

DATE: 02/13/26

SCALE: 1/2" = 1'-0"

DRAWN: BM

JOB:

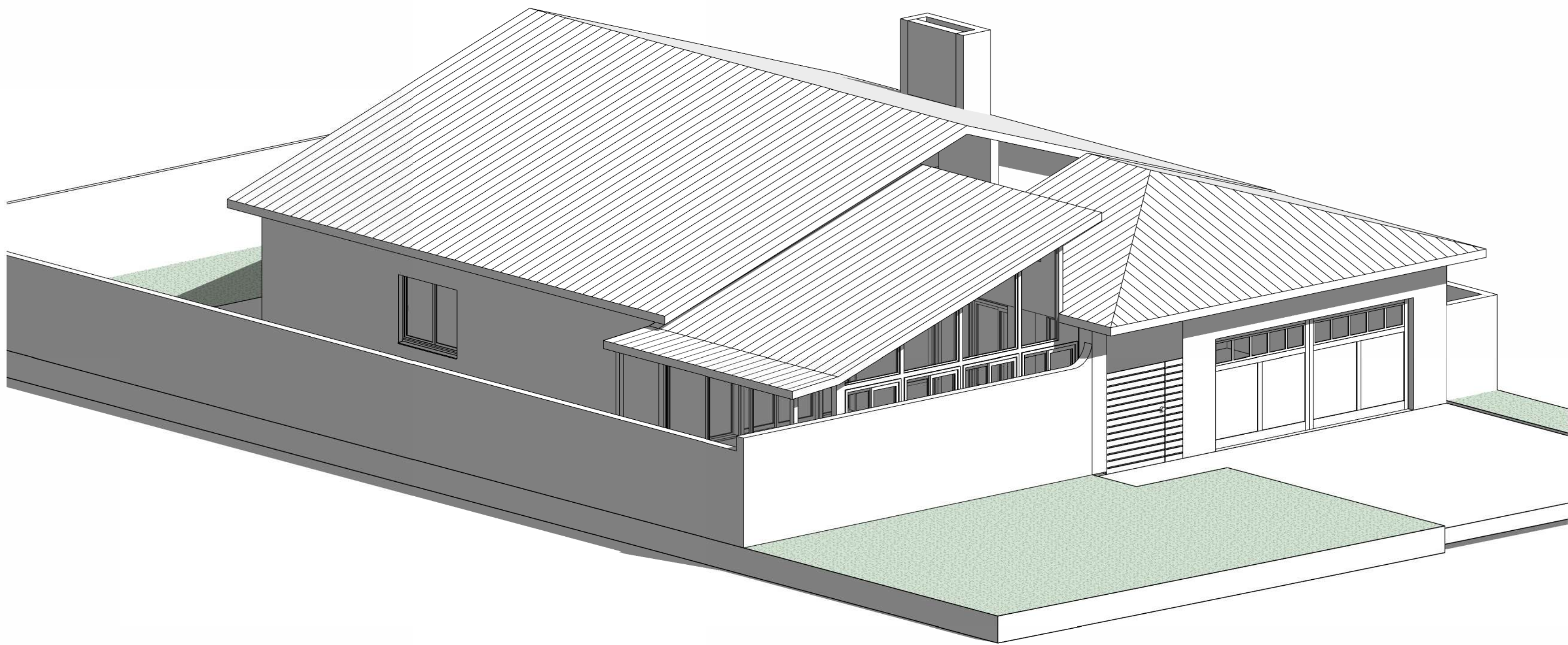
SHEET:

A6

# SANDSTONE LANE - PATIO ENCLOSURE

VALUE BUILDERS

## PROJECT LOCATION



## PROJECT INFORMATION

|                  |                                  |
|------------------|----------------------------------|
| PROPERTY OWNER   |                                  |
| PROPERTY ADDRESS |                                  |
| APN              | 1974                             |
| YEAR BUILT       | 6,062                            |
| LOT SQ FT        | R-3                              |
| OCCUPANCY GROUP  |                                  |
| TYPE OF CONST.   | TYPE V-B WOOD FRAME CONSTRUCTION |
| STORIES          | 1 STORIES EXISTING RESIDENCE     |
| # BEDROOMS       | 3                                |
| #BATHROOMS       | 2                                |
| SCOPE OF WORK:   | PATIO ENCLOSURE                  |
| TOTAL COST:      | \$113,500                        |

## PROJECT TEAM

## AREA OF WORK

PATIO ENCLOSURE #1  
PROJECT SQ FT: 285.66

## AREA CALCULATION

|                                                            |          |
|------------------------------------------------------------|----------|
| EXISTING                                                   |          |
| (E) LOT SQ                                                 | 6,062 SF |
| (E) EXISTING FLOOR AREA                                    | 1,497 SF |
| EXISTING LOT COVERAGE                                      | 24.69 %  |
| PROPOSED                                                   |          |
| (E) PROPOSED FLOOR AREA INCLUDING PATIO ENCLOSURE (285 SF) | 1,782 SF |
| LOT COVERAGE                                               | 29.50 %  |

## SHEET INDEX

|                         |                                        |
|-------------------------|----------------------------------------|
| A - ARCHITECTURAL PLANS |                                        |
| A1                      | COVER SHEET                            |
| A2                      | SITE PLAN                              |
| A3                      | EXISTING AND PROPOSED FIRST FLOOR PLAN |
| A4                      | EXISTING AND PROPOSED BACK ELEVATION   |
| A5                      | EXISTING AND PROPOSED WEST ELEVATION   |
| A6                      | EXISTING AND PROPOSED EAST ELEVATION   |
| A7                      | SECTIONS                               |
| A8                      | DOOR & WINDOWS SCHEDULES               |
| A9                      | CONCRETE FOUNDATION PLAN               |
| A10                     | ELECTRICAL LAYOUT & DETAILS            |
| A11                     | MATERIALS                              |
| S- STRUCTURAL           |                                        |
| S1                      | GENERAL NOTES                          |
| S2                      | GENERAL NOTES                          |
| S3                      | WALL FRAMING PLAN                      |
| S4                      | ROOF FRAMING PLAN                      |
| S5                      | ELEVATIONS                             |
| S6.0                    | SUNROOM DETAILS                        |
| S6.1                    | MISC DETAILS                           |
| G- GENERAL NOTES        |                                        |
| G1                      | POLLUTION PREVENTION PLAN              |

1164 Sandstone Lane  
PATIO ENCLOSURE

OWNER

SUBMITTED BY:

SHEET NAME:

Cover Sheet

DATE: 7/9/2026 12:16:57 PM

SCALE: 1" = 80'-0"

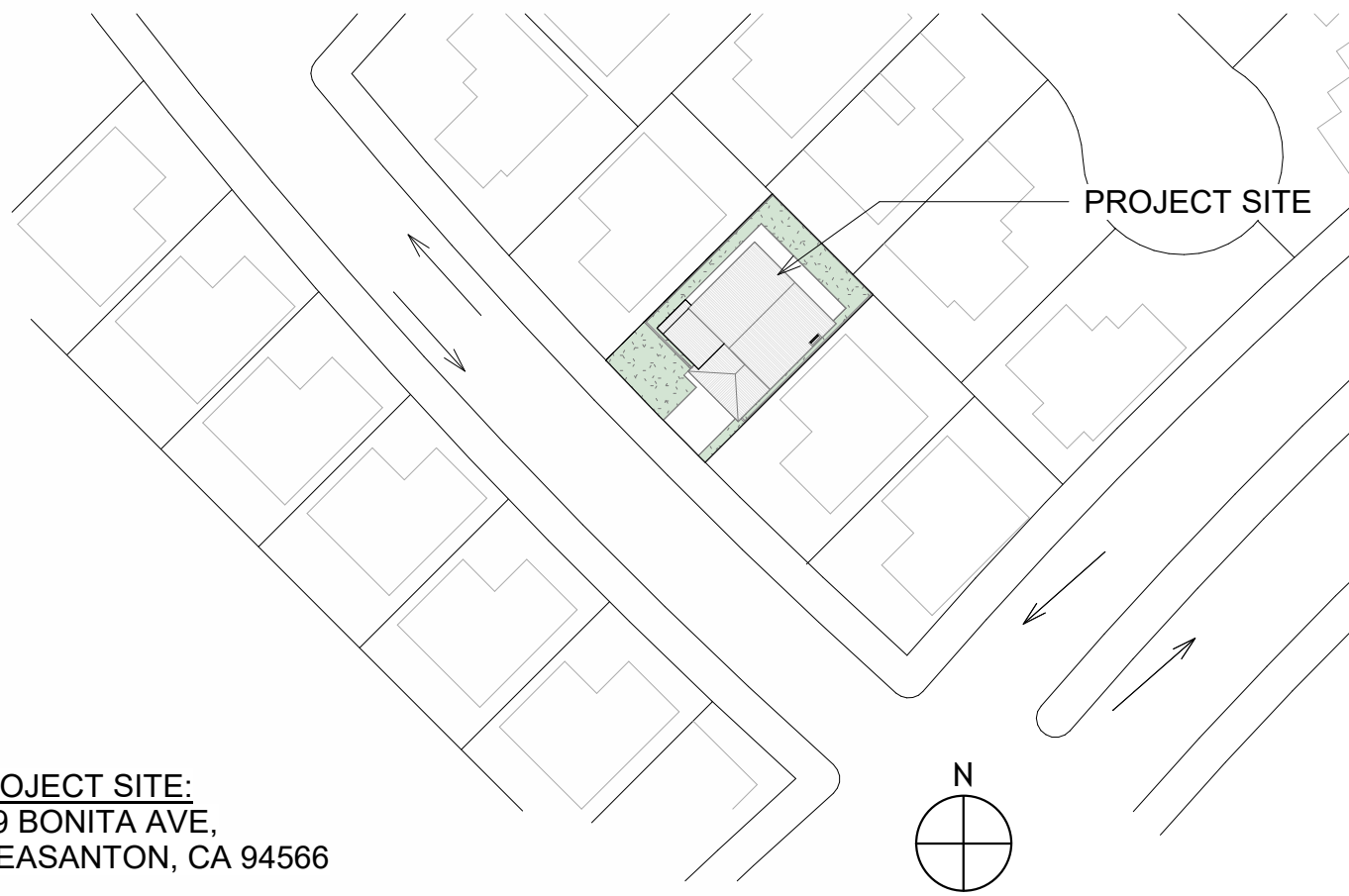
DRAWN: BM

JOB:

SHEET:

A1

## VICINITY MAP



PROJECT SITE:  
789 BONITA AVE,  
PLEASANTON, CA 94566

## GENERAL NOTES

1. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. NO PROPOSED LANDSCAPE WORK IS INCLUDED AS PART OF THIS PROJECT.
3. NO EXISTING EASEMENTS AFFECTING THE PROJECT AREA ARE KNOWN TO EXIST ON SITE.
4. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CAL/OSHA REQUIREMENTS AND LOCAL CITY ORDINANCES.
5. NO WORK IS PROPOSED WITHIN THE PUBLIC RIGHT-OF-WAY AS PART OF THIS PERMIT APPLICATION.
6. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO VERIFY PROPERTY LINES AND MAINTAIN ALL REQUIRED SETBACKS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL SILT, MUD, AND DEBRIS DEPOSITED ON ADJACENT STREETS AS A RESULT OF CONSTRUCTION ACTIVITIES. CLEANUP SHALL OCCUR AT THE END OF EACH WORKDAY AND FOLLOWING ANY STORM EVENT THAT MAY COMPROMISE STORMWATER QUALITY. A STABILIZED CONSTRUCTION ENTRANCE/EXIT MAY BE REQUIRED TO PREVENT TRACKING OF MUD OR SILT ONTO PUBLIC STREETS.
8. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS INTENDED TO REMAIN ON SITE FOR MORE THAN SEVEN (7) CALENDAR DAYS SHALL BE ADEQUATELY COVERED AND PROTECTED.
9. ALL CONSTRUCTION MATERIALS, EQUIPMENT, AND ASSOCIATED STORAGE AREAS SHALL BE PROTECTED AGAINST THE POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
10. THE EXISTING RESIDENCE IS NOT EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.
11. THE PROPERTY IS DEVELOPED AS A SINGLE-FAMILY RESIDENCE.
12. NO PROTECTED OR SIGNIFICANT TREES ARE LOCATED WITHIN OR ADJACENT TO THE PROPOSED WORK AREA; THEREFORE, TREE PROTECTION MEASURES ARE NOT REQUIRED FOR THIS PROJECT.
13. THE PROPOSED STRUCTURE IS AN ACCESSORY BUILDING AND IS NOT INTENDED FOR HABITABLE USE OR OCCUPANCY.
14. THE ACCESSORY BUILDING SHALL NOT BE USED AS A DWELLING UNIT, SLEEPING QUARTERS, OR ACCESSORY DWELLING UNIT (ADU).
15. ALL WORK SHALL CONFORM TO THE APPROVED PLANS AND APPLICABLE REQUIREMENTS OF THE CURRENT CALIFORNIA BUILDING CODE (CBC), CALIFORNIA RESIDENTIAL CODE (CRC), AND ALL LOCAL JURISDICTIONAL REQUIREMENTS.

## APPLICABLE CODES

2025 CALIFORNIA RESIDENTIAL CODE (CRC)  
2025 CALIFORNIA BUILDING CODE (CBC)  
2025 CALIFORNIA ELECTRICAL CODE (CEC)  
2025 CALIFORNIA MECHANICAL CODE (CMC)  
2025 CALIFORNIA PLUMBING CODE (CPC)  
2025 CALIFORNIA FIRE CODE (CFC)  
2025 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)  
2025 CALIFORNIA ENERGY CODE  
ALAMEDA COUNTY MUNICIPAL CODES

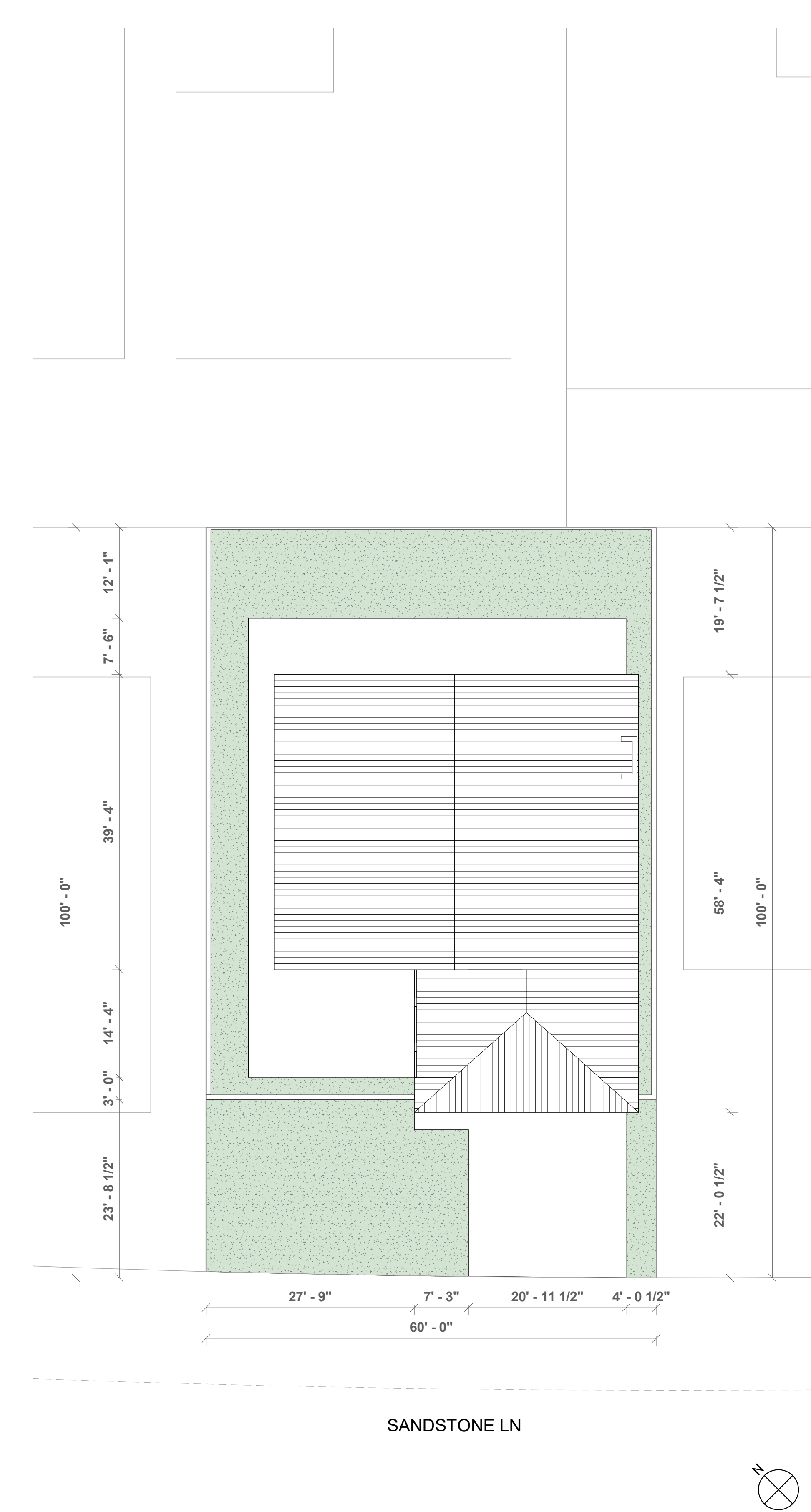
ALL WORK SHALL COMPLY WITH THE CURRENTLY ADOPTED 2025 CODES AND LOCAL AMENDMENTS.

## SYMBOL LEGEND

|  |                                |  |                     |
|--|--------------------------------|--|---------------------|
|  | NORTH ARROW                    |  | KEYNOTE REFERENCE   |
|  | SECTION REFERENCE SHEET NUMBER |  | SPOT ELEVATION      |
|  | DETAIL REFERENCE SHEET NUMBER  |  | PROPERTY LINE       |
|  | REVISION CLOUD                 |  | CENTER LINE         |
|  | REVISION NUMBER                |  | WALL TYPE REFERENCE |
|  | WINDOW REFERENCE               |  |                     |

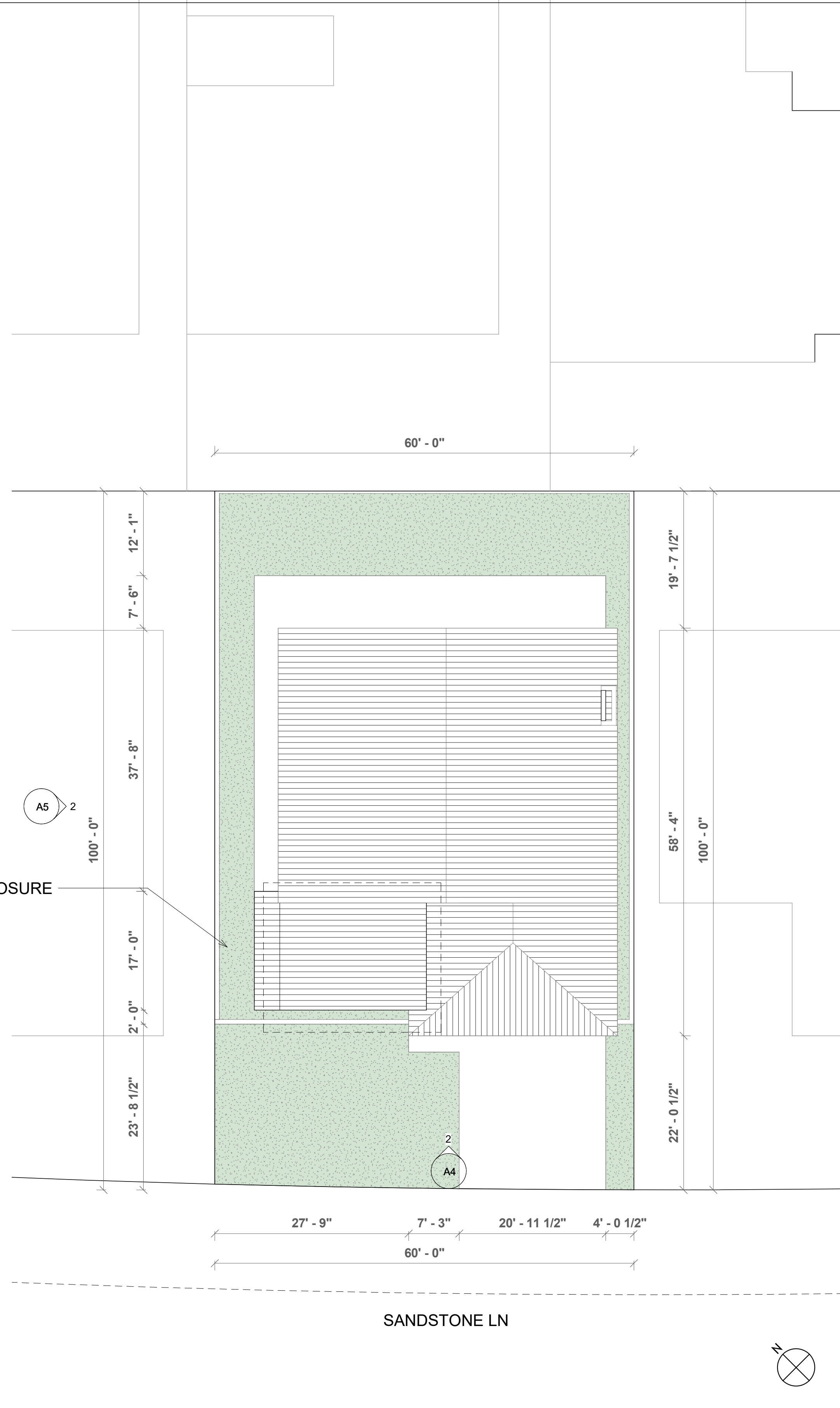
Cover Sheet

1" = 80'-0"

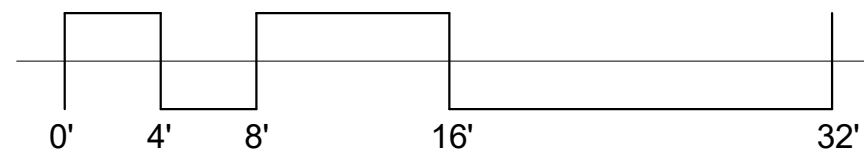


1 EXISTING SITE PLAN  
A2 3/32" = 1'-0"

PATIO ENCLOSURE



2 PROPOSED SITE PLAN  
A2 3/32" = 1'-0"



Site Plan

3/32" = 1'-0"

VALUE  
BUILDERS

1164 Sandstone Lane  
PATIO ENCLOSURE

OWNER

SUBMITTED BY:

SHEET NAME:

Site Plan

DATE: 7/9/2026 12:16:57 PM

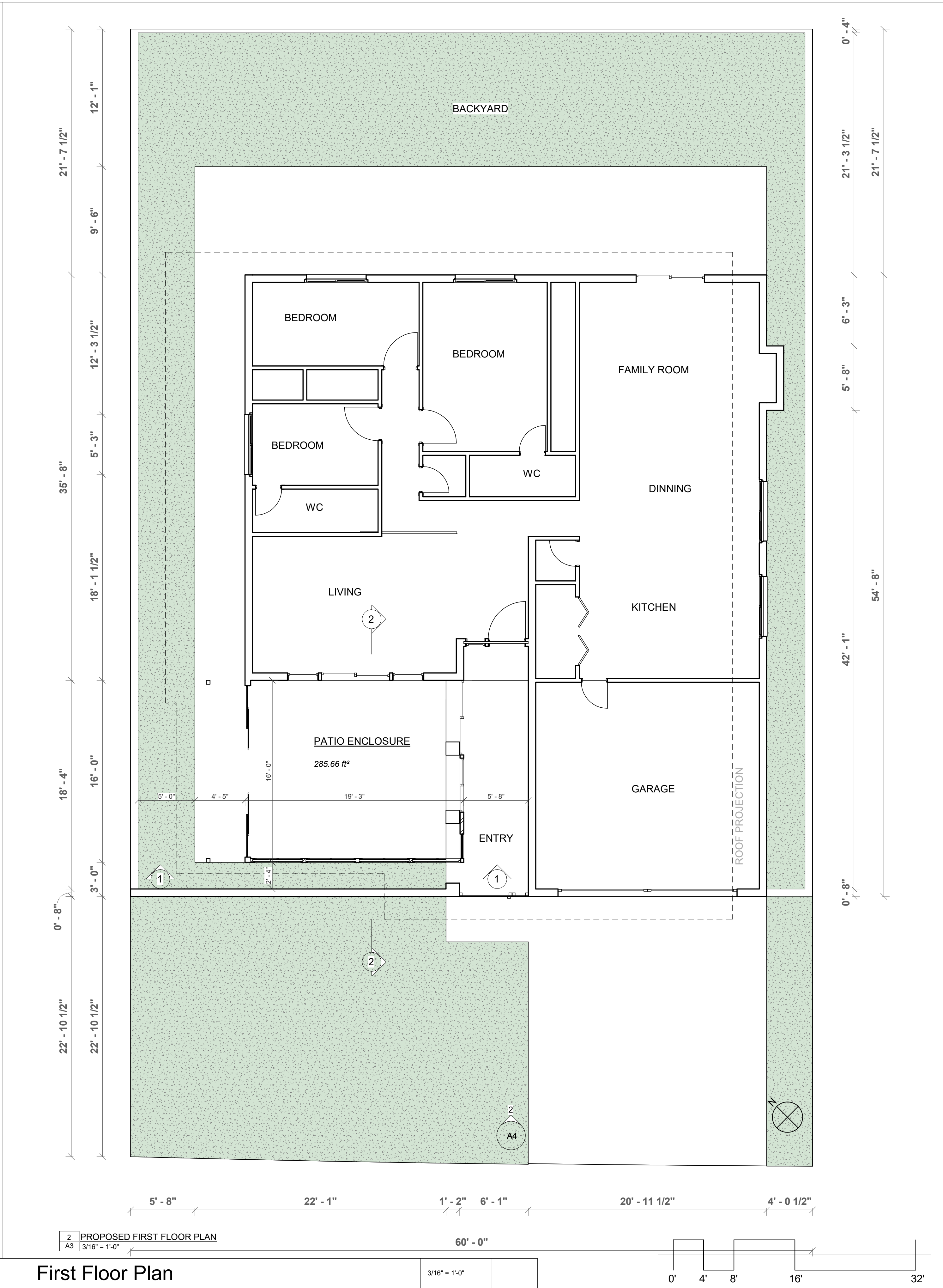
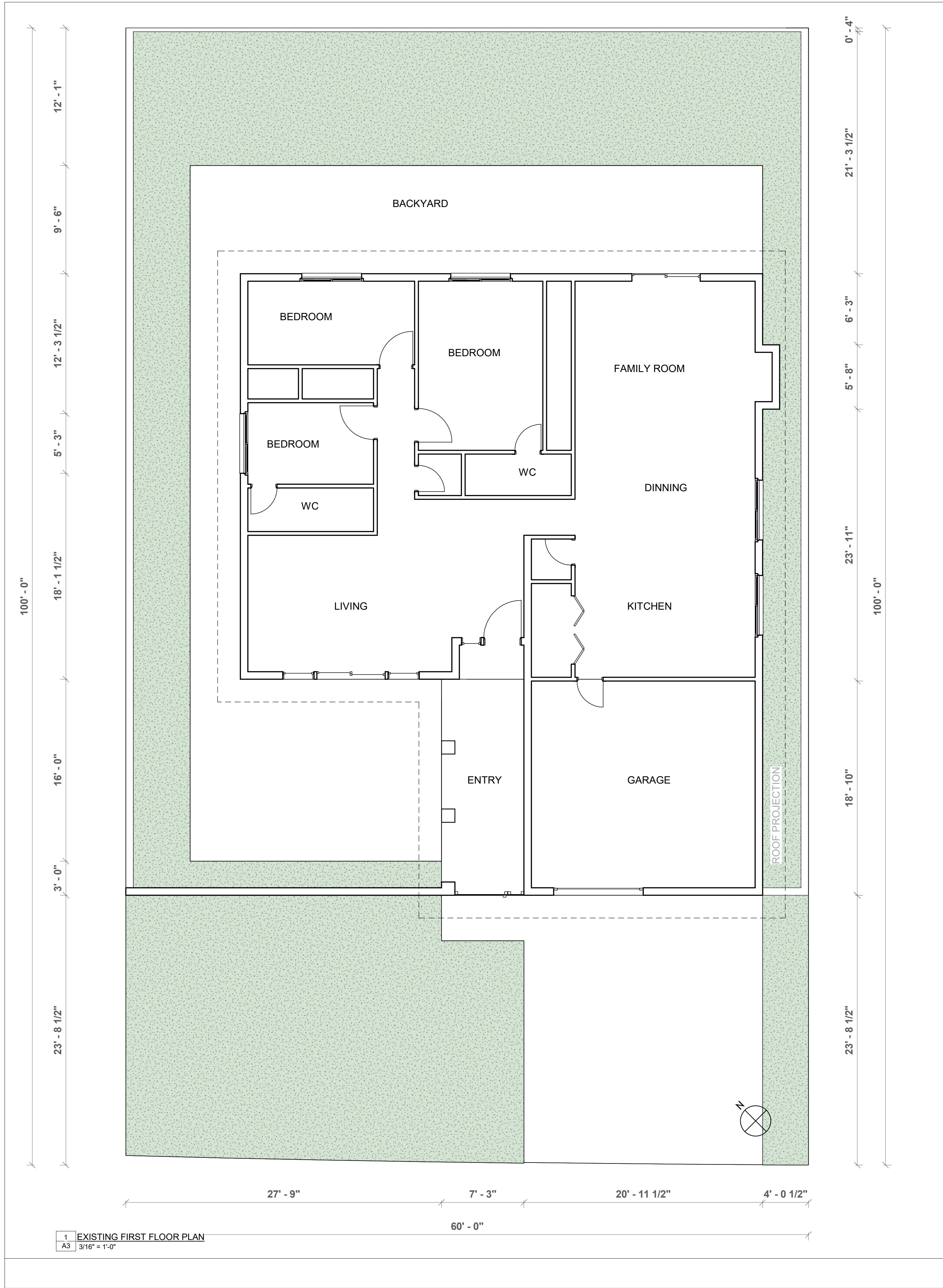
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JOB:

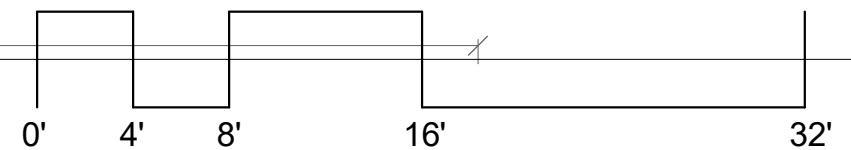
SHEET:

A2



First Floor Plan

3/16" = 1'-0"



VALUE BUILDERS

1164 Sandstone Lane  
PATIO ENCLOSURE

OWNER

SUBMITTED BY:

SHEET NAME:  
First Floor Plan

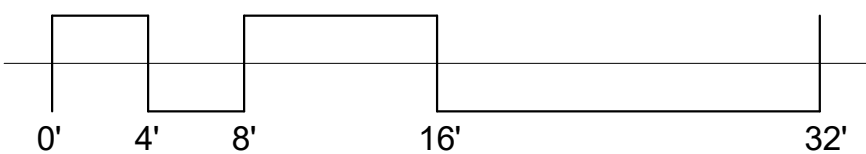
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DRAWN: BM  
JOB:  
SHEET:

A3



Front Elevation

1/4" = 1'-0"



VALUE BUILDERS

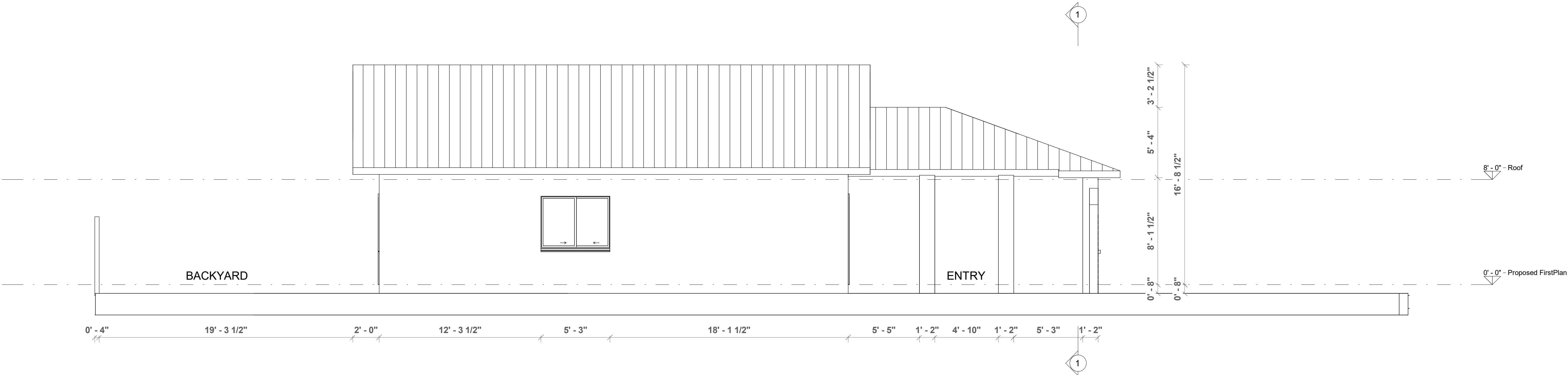
1164 Sandstone Lane  
PATIO ENCLOSURE

OWNER

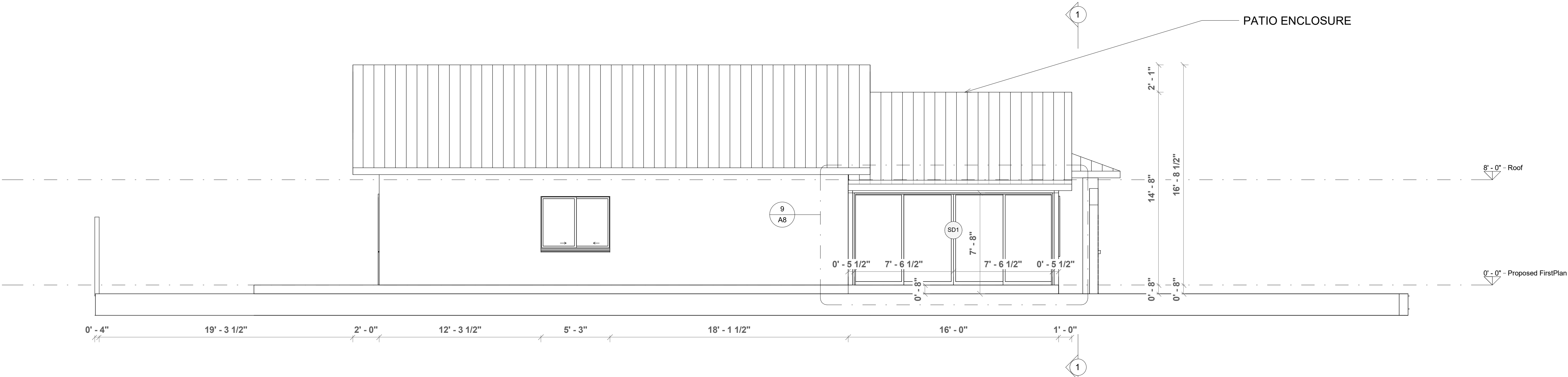
SUBMITTED BY:

SHEET NAME:  
Front Elevation

DATE: 7/9/2026 12:16:59 PM  
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DRAWN: BM  
JOB:  
SHEET:  
A4



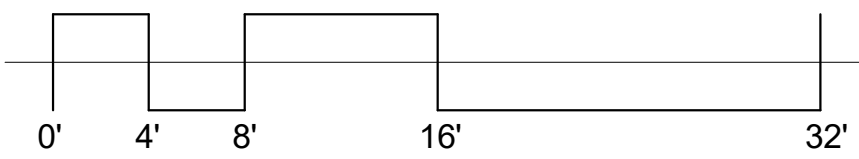
1 EXISTING LEFT ELEVATION  
A5 1/4" = 1'-0"

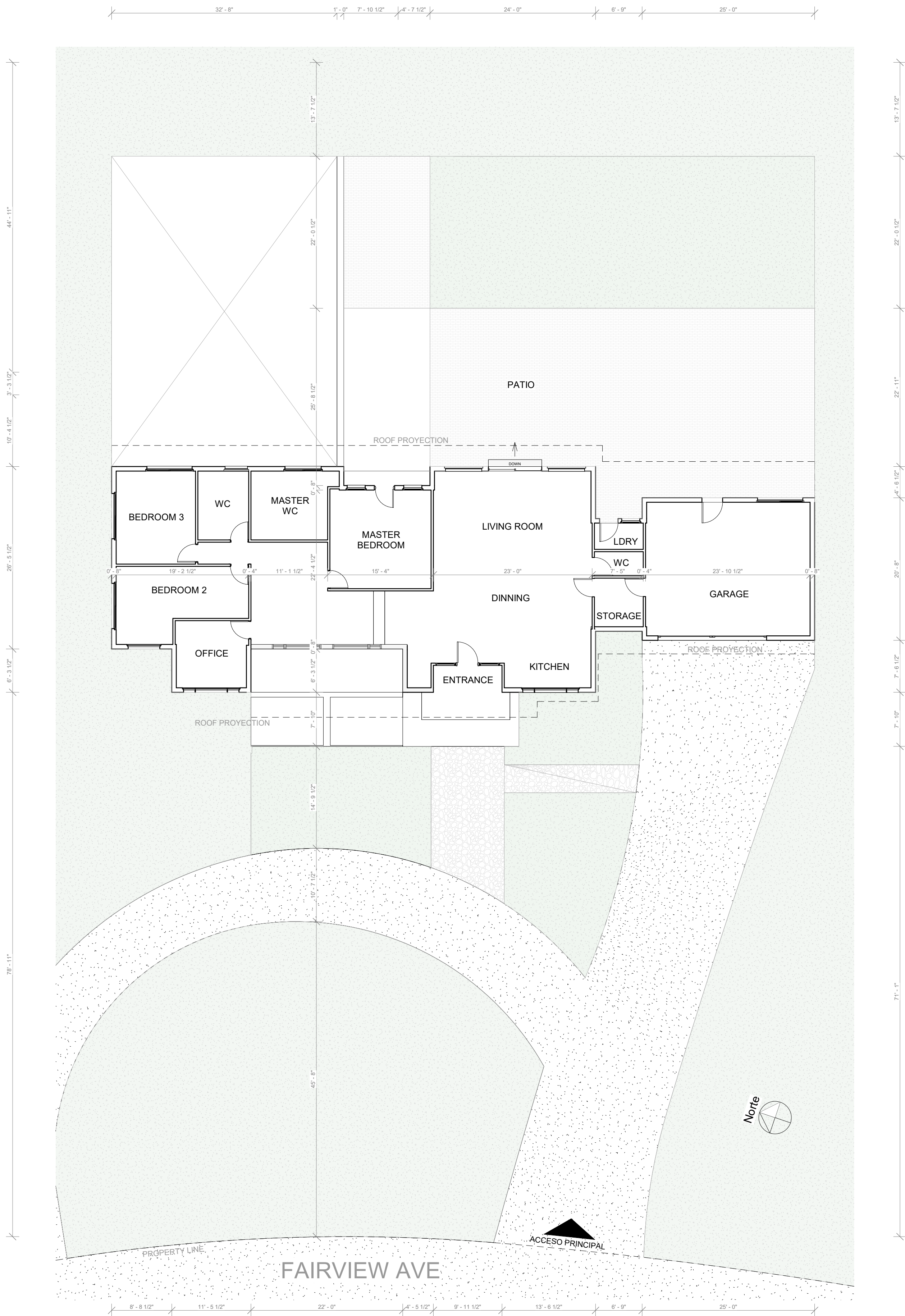


2 PROPOSED LEFT ELEVATION  
A5 1/4" = 1'-0"

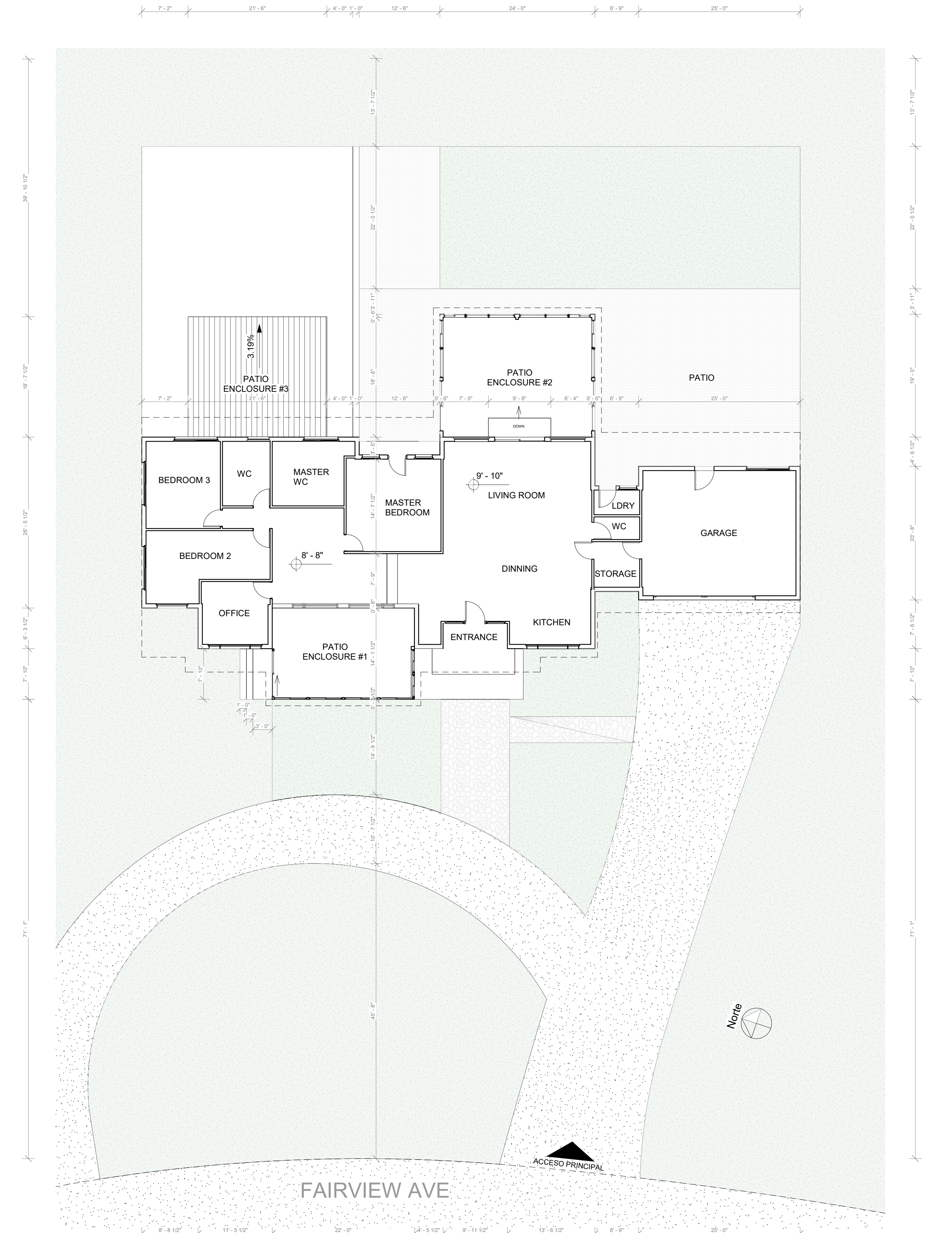
West Elevation

1/4" = 1'-0"





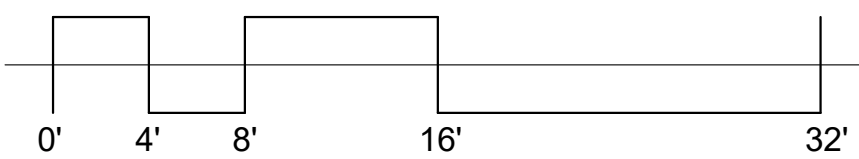
1 Existing Second Plan  
A4 1" = 10'-0"



2 Proposed Second Plan  
A4 1" = 10'-0"

Second Floor Plan

1" = 10'-0"



VALUE BUILDERS

27610 FAIRVIEW AVE  
PATIO ENCLOSURE

OWNER

SUBMITTED BY:

SHEET NAME:

Second Floor Plan

DATE: 04/01/26

SCALE: 1" = 10'-0"

DRAWN: BM

JOB:

SHEET:

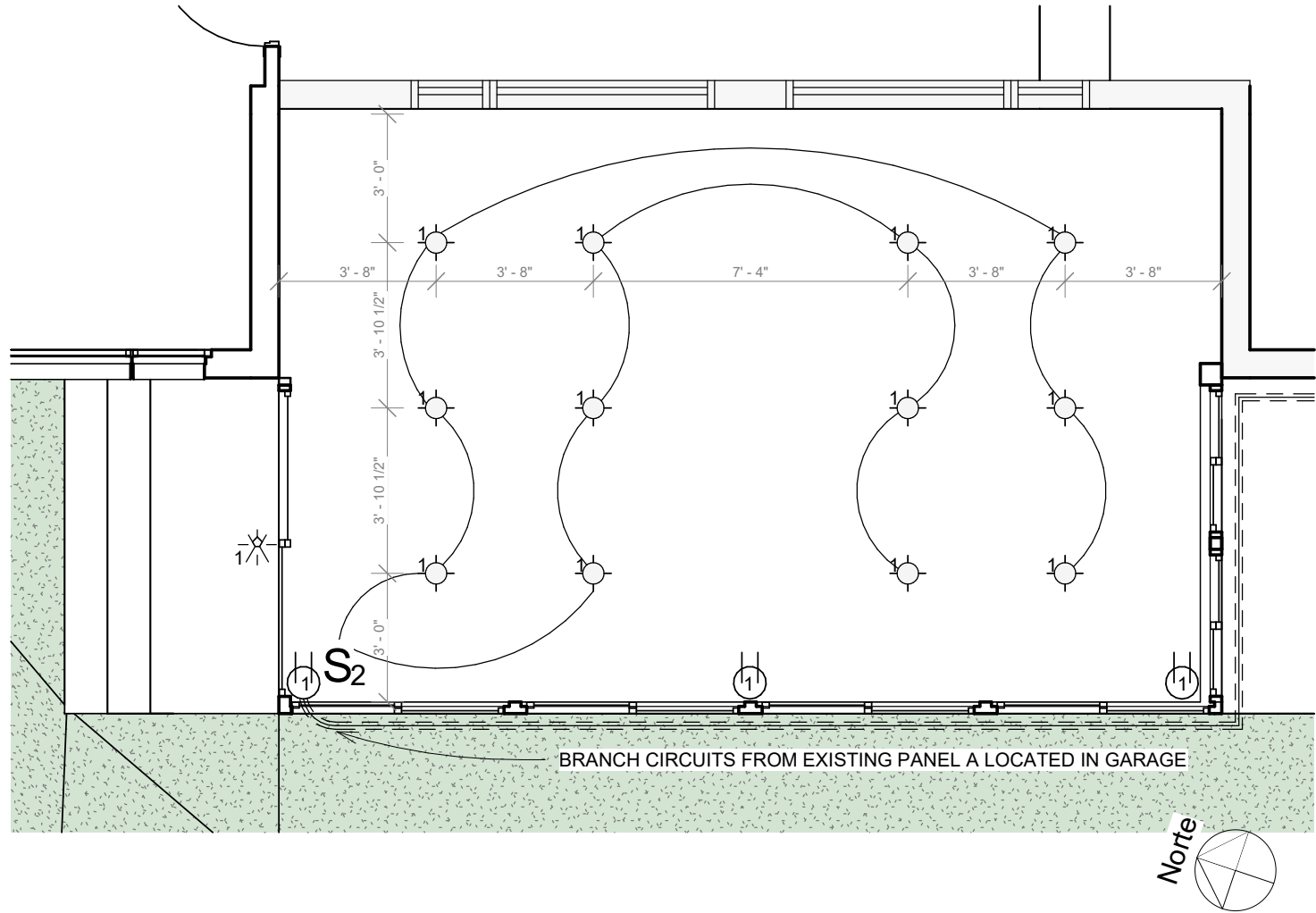
A4

27610 FAIRVIEW AVE  
PATIO ENCLOSURE

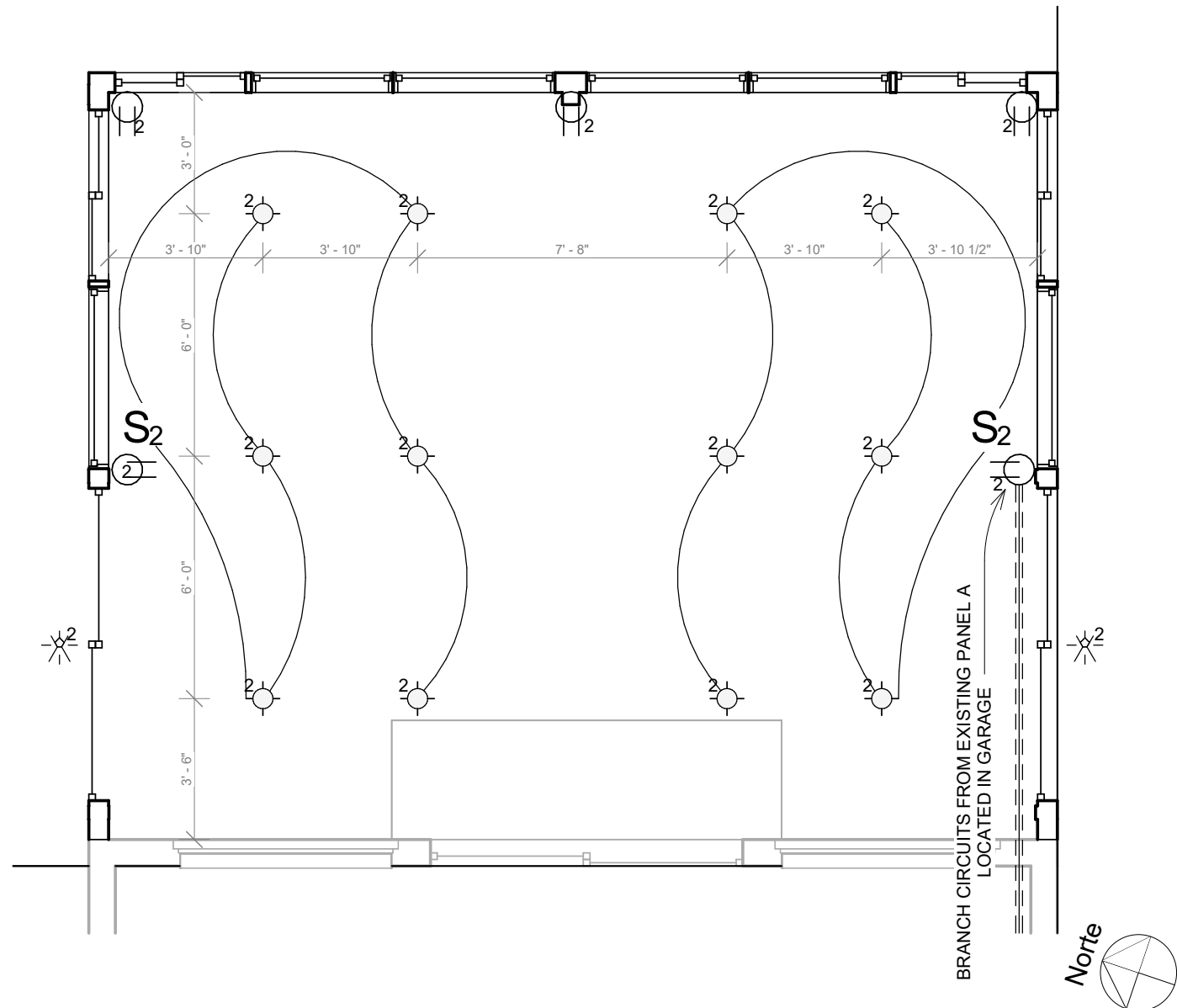
SUBMITTED BY:

Front  
Elevation

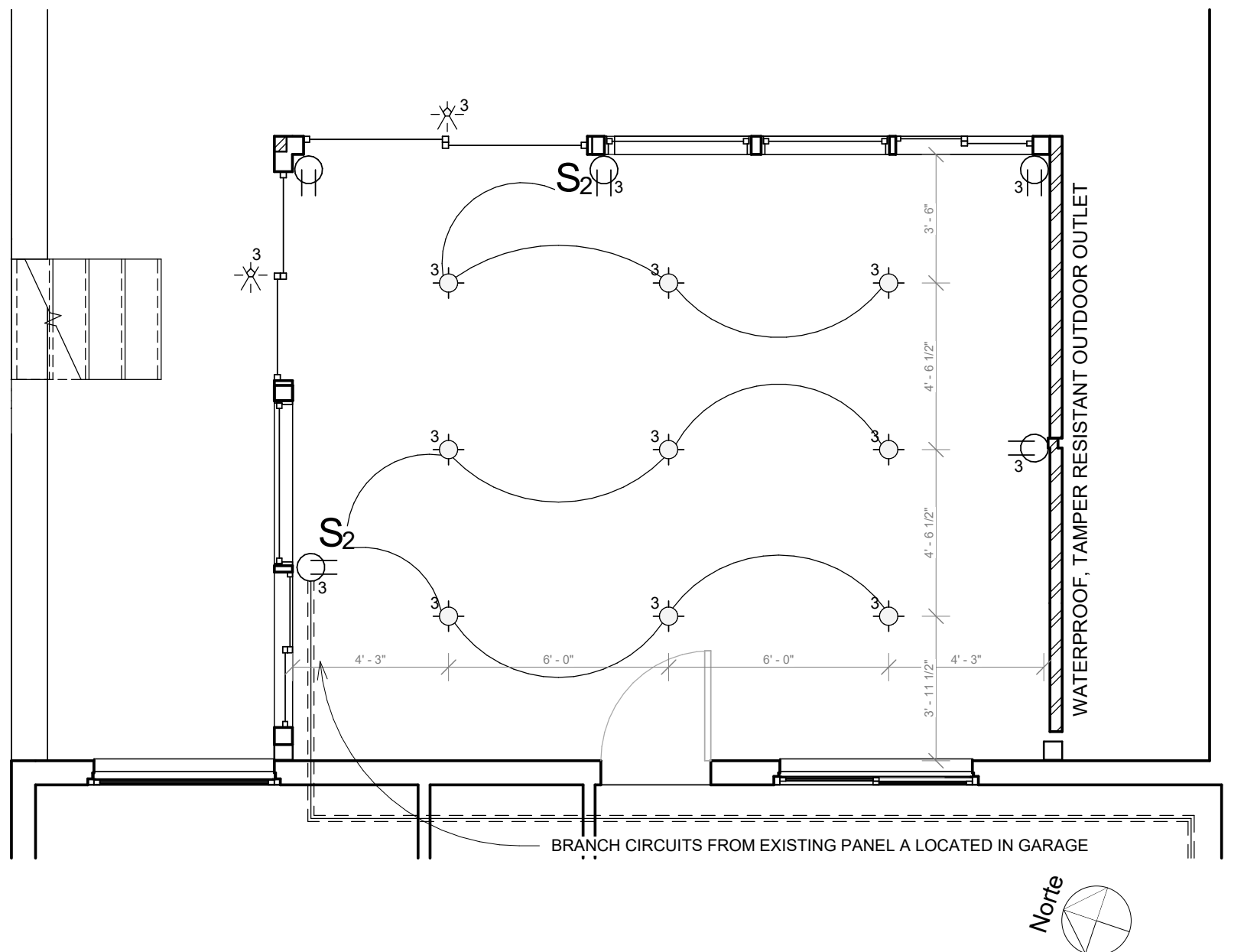
SHEE



2  
A13  
Patio Enclosure #1 - Electrical  
Layout-0"



3  
A13  
Patio Enclosure #2 - Electrical  
Layout-0"

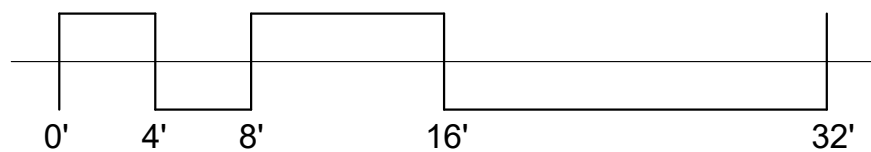


1  
A13  
Patio Enclosure #3 - Electrical  
Layout-0"

### PANEL SCHEDULE EXISTING PANEL A (GARAGE)

| PANEL SCHEDULE – PANEL A<br>LOCATION: GARAGE<br>VOLTAGE: 120/240V<br>PHASE: 1Ø<br>BUS RATING: 100A<br>MAIN BREAKER: 100A |                    |          | EXISTING LOADS REMAIN.<br>NEW LOADS SHOWN ONLY.<br>VERIFY AVAILABLE CAPACITY IN PANEL. |  |  |
|--------------------------------------------------------------------------------------------------------------------------|--------------------|----------|----------------------------------------------------------------------------------------|--|--|
| CIRCUIT                                                                                                                  | DESCRIPTION        | BREAKER  |                                                                                        |  |  |
| 1                                                                                                                        | Patio Enclosure #1 | 20A GFCI |                                                                                        |  |  |
| 2                                                                                                                        | Patio Enclosure #2 | 20A GFCI |                                                                                        |  |  |
| 3                                                                                                                        | Patio Enclosure #3 | 20A GFCI |                                                                                        |  |  |

NOTE:  
ALL 125V, 15A AND 20A RECEPTACLES LOCATED  
WITHIN THE PATIO ENCLOSURES SHALL BE GFCI  
PROTECTED IN ACCORDANCE WITH CEC 210.8.



### PROJECT INFORMATION

PROPERTY OWNER

PROPERTY ADDRESS

APN  
YEAR BUILT  
LOT SQ FT  
OCCUPANCY GROUP

2008  
89,734  
R-3

TYPE OF CONST.  
STORIES

TYPE V-B WOOD FRAME  
CONSTRUCTION  
2 STORIES EXISTING RESIDENCE

# BEDROOMS  
#BATHROOMS

5  
4

SCOPE OF WORK:

Patio enclosure

TOTAL COST:

\$185,850

### LEGENDS

|  |                                   |  |                        |
|--|-----------------------------------|--|------------------------|
|  | ELECTRICAL SWITCH BOX             |  | KEYNOTE<br>REFERENCE   |
|  | GFCI PROTECTED DUPLEX RECEPTACLE  |  | SPOT ELEVATION         |
|  | ELECTRICAL SWITCH                 |  | PROPERTY LINE          |
|  | RECESSED CAN LIGHTING             |  | CENTER LINE            |
|  | CEILING FAN                       |  | WALL TYPE<br>REFERENCE |
|  | DOWNWARD SENSOR LIGHT             |  | REVISION<br>NUMBER     |
|  | NORTH ARROW                       |  | WINDOW<br>REFERENCE    |
|  | SECTION REFERENCE<br>SHEET NUMBER |  |                        |
|  | DETAIL REFERENCE<br>SHEET NUMBER  |  |                        |
|  | REVISION CLOUD                    |  |                        |
|  | REVISION NUMBER                   |  |                        |
|  | WINDOW REFERENCE                  |  |                        |

### LIGHTING NOTES

- ALL LUMINARIES IN OTHER ROOMS SHALL BE HIGH EFFICIENCY AND SHALL HAVE A MANUEL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER
- FLUORESCENT FIXTURES MUST BE OF THE BALLASTED TYPE THAT CAN ONLY ACCEPT FLUORESCENT BULBS WITH MINIMUM EFFICACY OF 40 LUMENS PER WATT. ALL FLUORESCENT FIXTURES ARE TO BE HIGH EFFICACY PER CEC 150(K)
- OUTDOOR LIGHTING MOUNTED TO THE BUILDING SHALL BE HIGH EFFICACY LUMINARIES AND MUST BE CONTROLLED BY A MANUAL ON/OFF SWITCH AND CONTROLLED BY NONE OF THESE AUTOMATIC CONTROL TYPES: PHOTOCONTROL AND A MOTION SENSOR OR ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT CONTROL SYSTEM (EMCS).
- PROVIDE WEATHER PROTECTION FOR EXTERIOR LIGHTING FIXTURES
- ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLES OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE OUTLETS PER CEC 406.11
- ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS, (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES) LAUNDRY, UTILITY, WET BAR, SINKS (WITHIN 6 FEET OF THE EDGE OF SINK) SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION CEC 210.8

#### IMPORTANT NOTES

- R327.1.2 ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS.
- ELECTRICAL RECEPTACLE OUTLETS, SWITCHES, AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR

VALUE  
BUILDERS

27610 FAIRVIEW AVE  
PATIO ENCLOSURE

OWNER

SUBMITTED BY:

SHEET NAME:

Electrical  
Layout &  
Details

DATE: 04/01/26

SCALE: 1/4" = 1'-0"

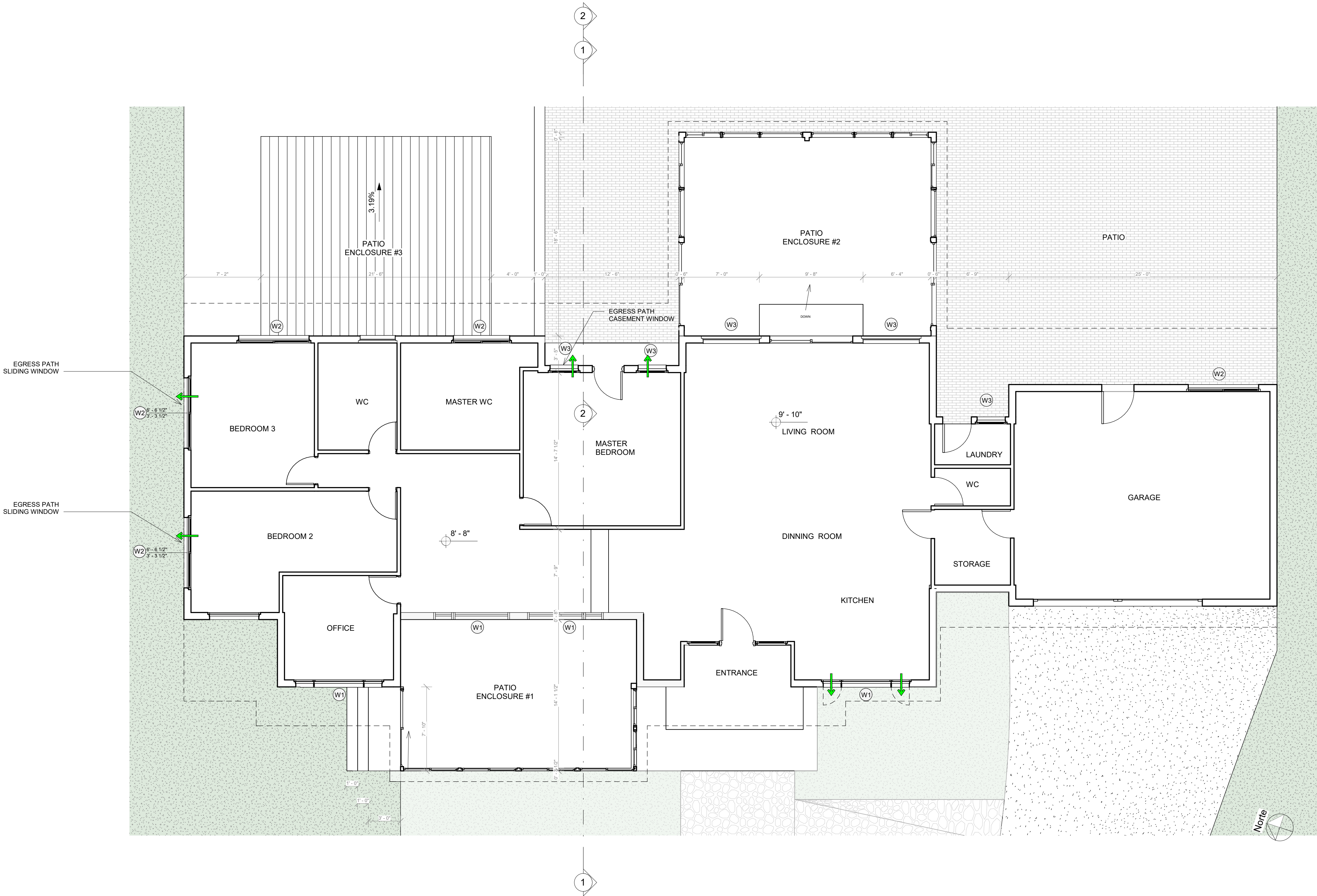
DRAWN: BM

JOB:

SHEET:

A13

1 Emergency Escape and  
A14 Rescue Openings



Emergency Escape and Rescue  
Openings

Como se indica

PROJECT INFORMATION

PROPERTY OWNER

PROPERTY ADDRESS

APN  
YEAR BUILT  
LOT SQ FT  
OCCUPANCY GROUP  
TYPE OF CONST.  
STORIES  
# BEDROOMS  
# BATHROOMS

2008  
89,734  
R-3  
TYPE V-B WOOD FRAME  
CONSTRUCTION  
2 STORIES EXISTING RESIDENCE

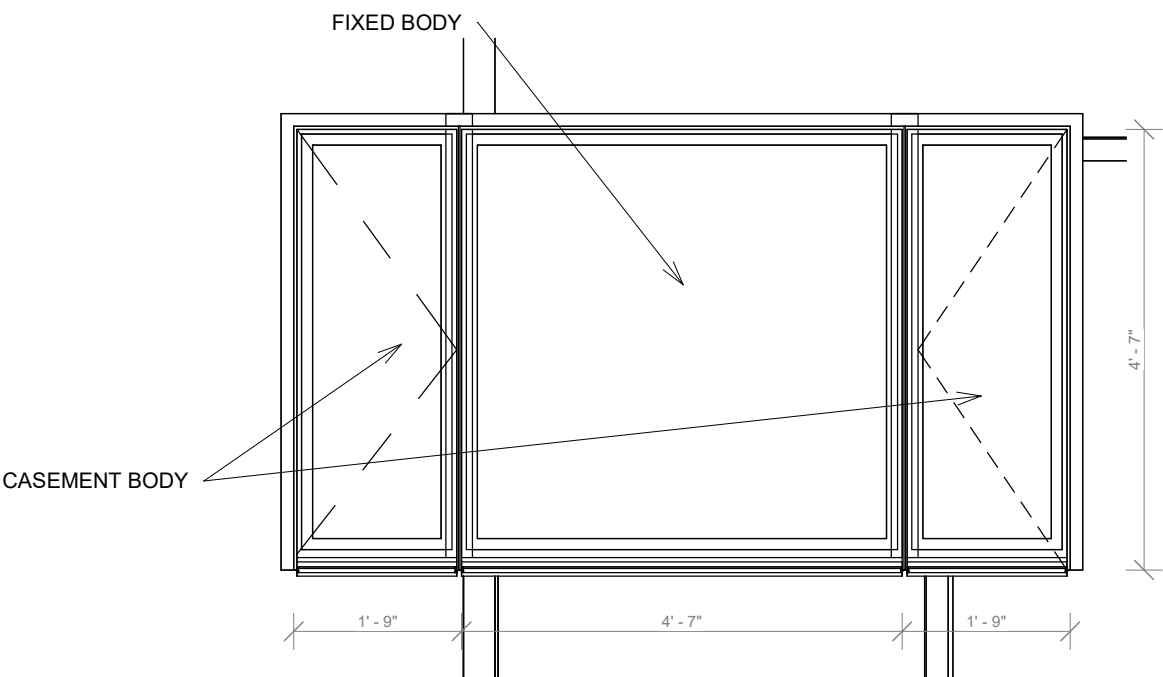
SCOPE OF WORK:  
TOTAL COST:

Patio enclosure  
\$185,850

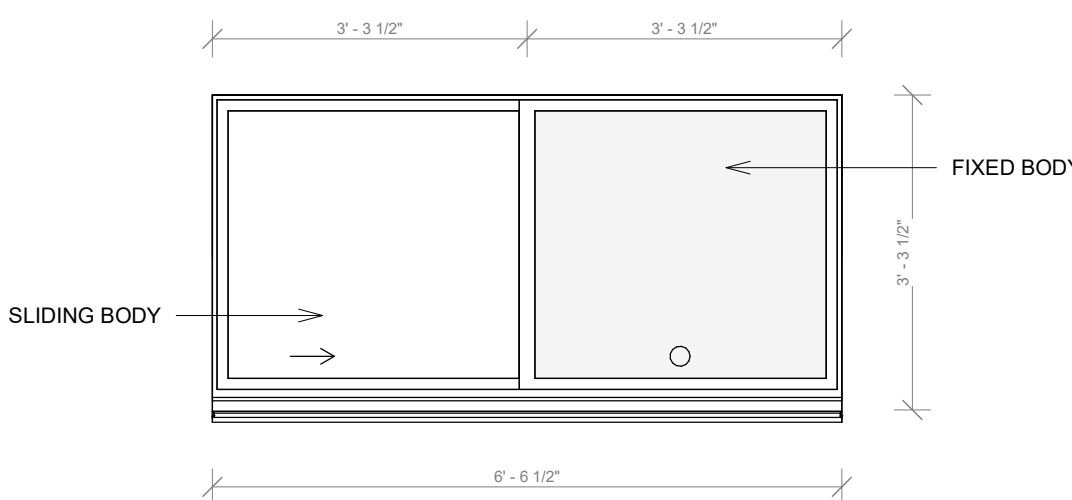
GENERAL NOTES

(E) EGRESS WINDOW  
MIN. CLEAR OPENING 5.7 SQ.FT.  
24" MIN HEIGHT  
20" MIN WIDTH  
SILL HEIGHT MAX. 44" AFF  
VERIFY MANUFACTURER COMPLIANCE

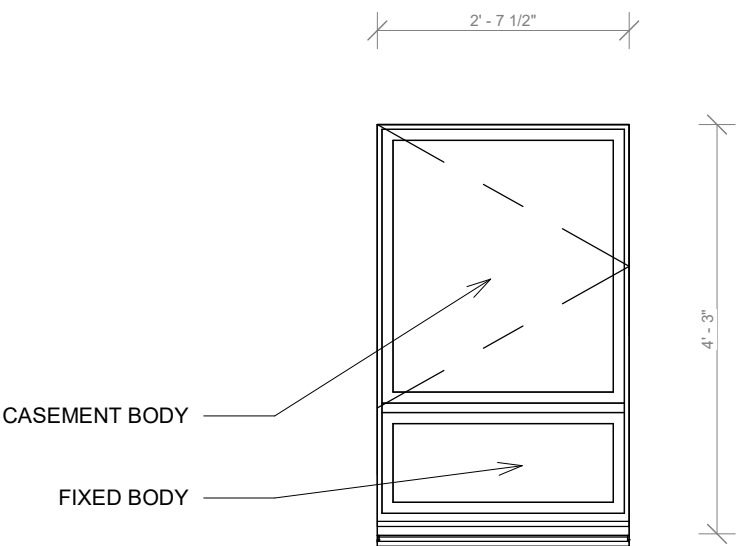
WINDOWS TYPE



2 W1  
A14 1/2" = 1'-0"



3 W2  
A14 1/2" = 1'-0"



4 W3  
A14 1/2" = 1'-0"

VALUE  
BUILDERS

27610 FAIRVIEW AVE  
PATIO ENCLOSURE

OWNER

SUBMITTED BY:

SHEET NAME:

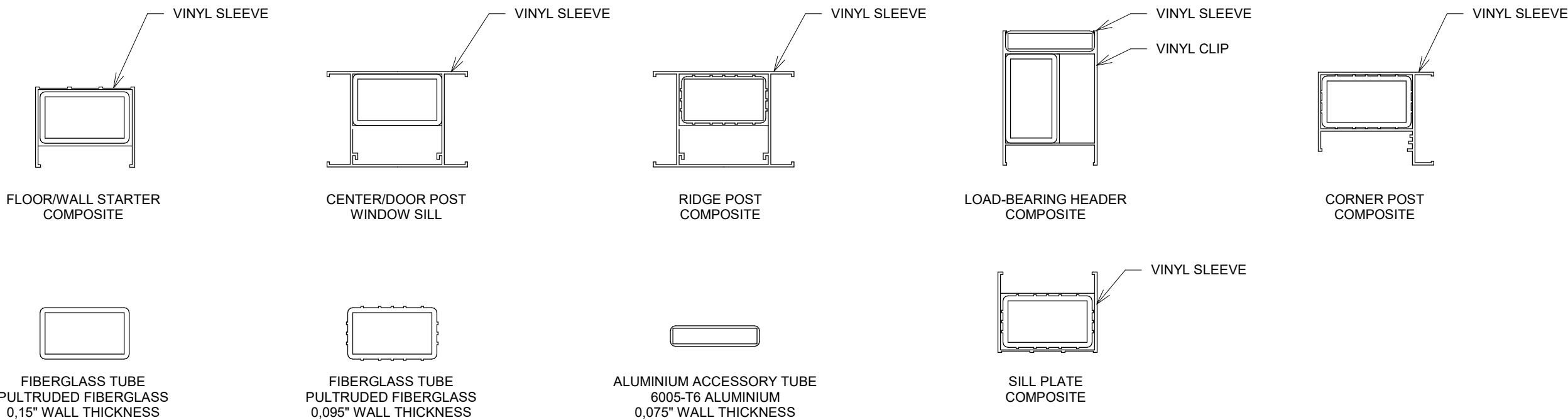
Emergency  
Escape  
and  
Rescue  
Openings

DATE: 05/26/26  
SCALE: Como se indica  
DRAWN: BM  
JOB:  
SHEET:

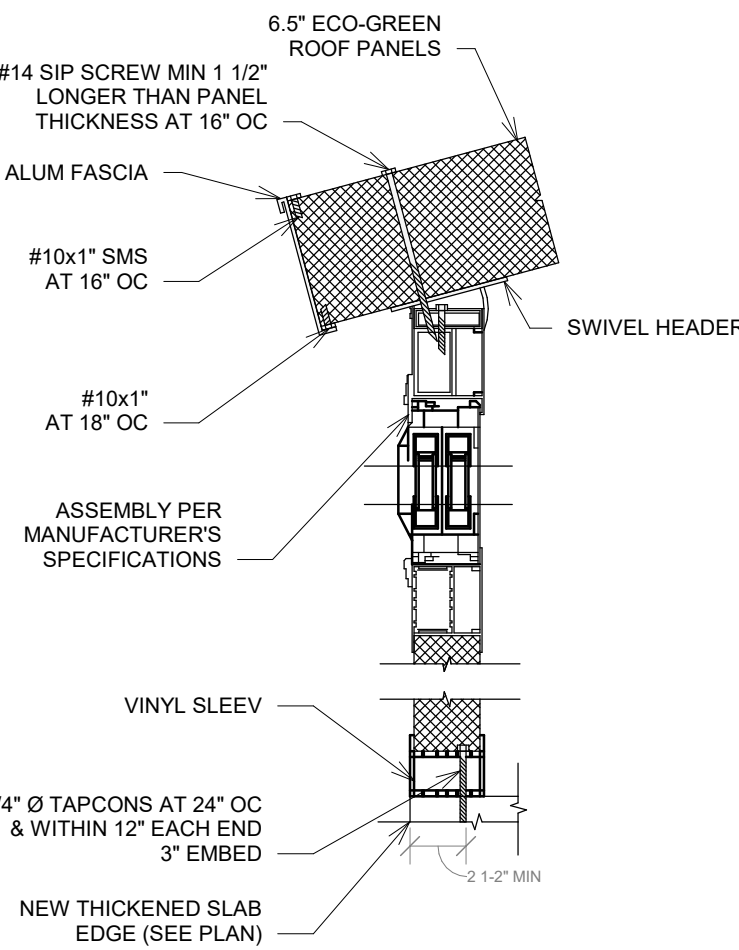
A14



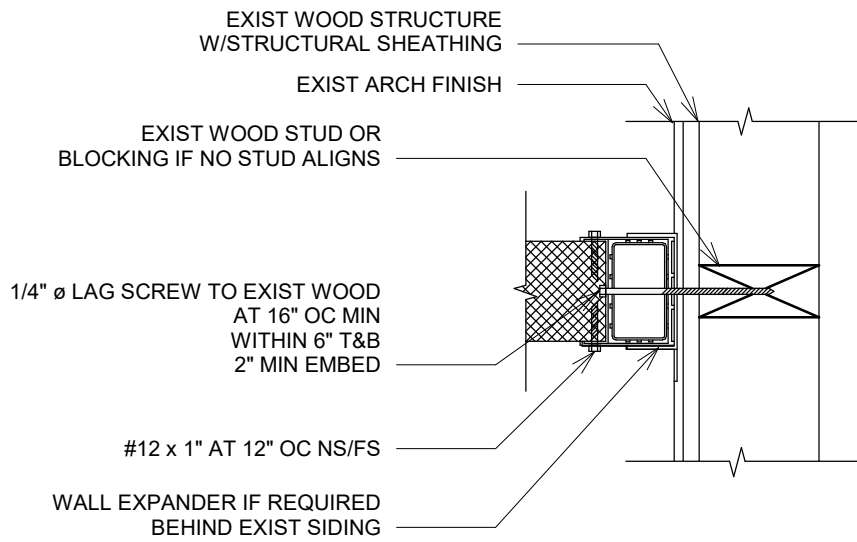
\*IMAGE FOR REFERENCE ONLY. COLORS AND MATERIALS TO MATCH EXISTING HOME.



5 L.S. COMPONENTS  
A15 1/2" = 1'-0"



6 TYP WALL SECTION  
A15 1/2" = 1'-0"



7 WALL ATTACHMENT  
A15 1/2" = 1'-0"

### ROOF ASSEMBLY

- COMPOSITE SHINGLE ROOF
- CLASS A FIRE RATE
- ASTM E108 / UL 790 COMPLIANT



### WINDOWS

- EXTERIOR DOORS SHALL COMPLY WITH CWUIC SECTION 504.9.
- INSULATED DUAL-PANE TEMPERED GLASS.
- POWDER-COATED ALUMINUM FRAME.



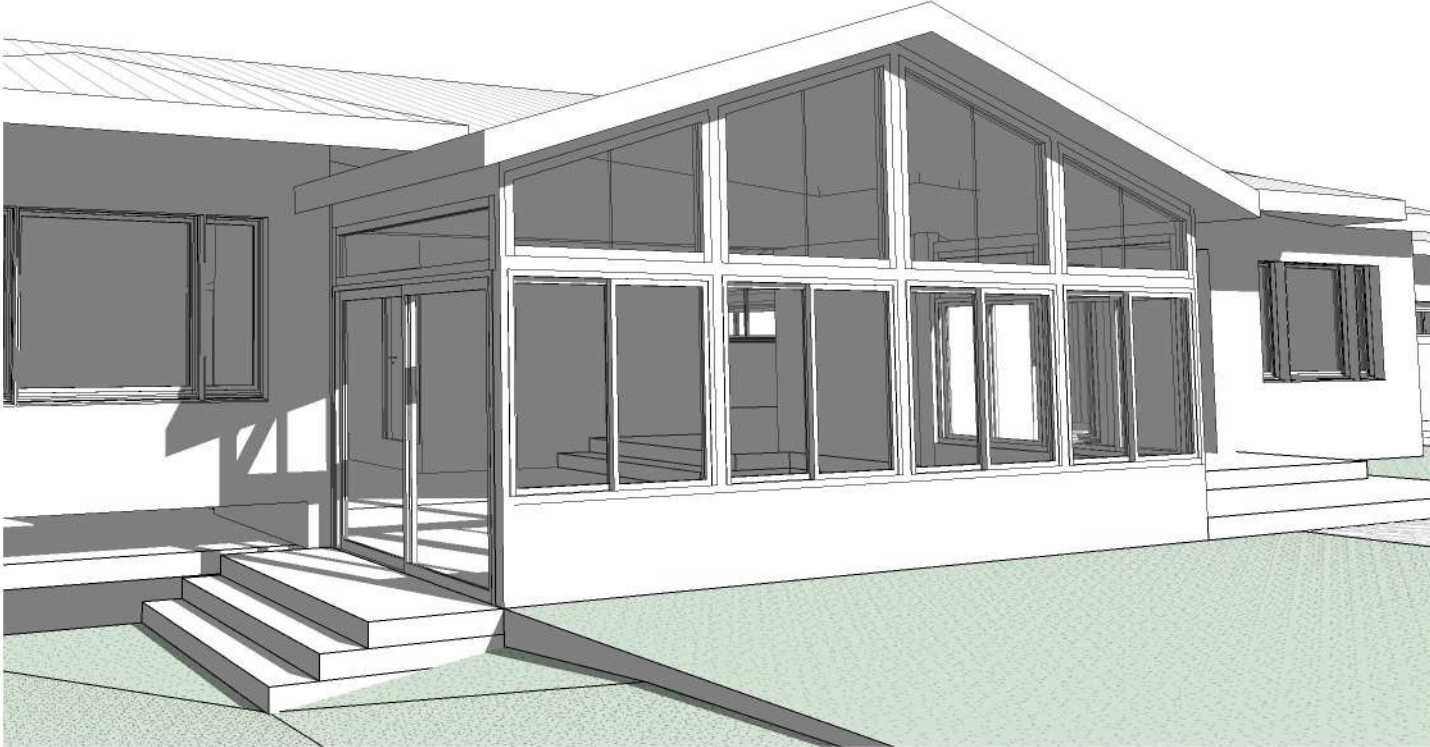
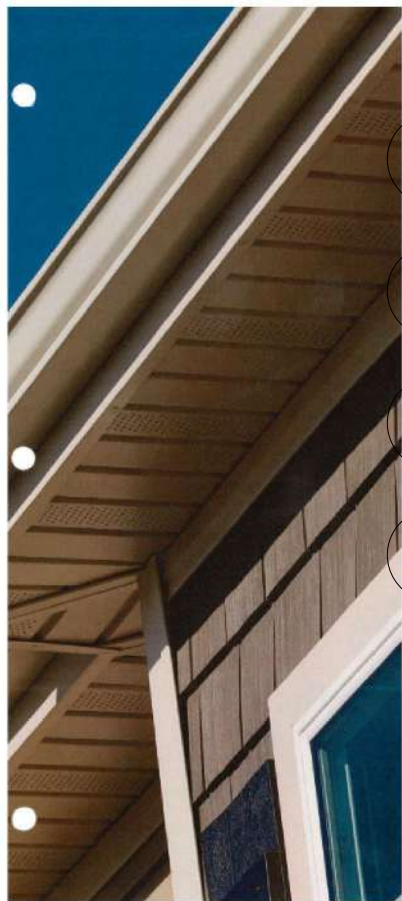
### SLIDING DOORS

- ALUMINUM FRAME.
- DUAL-PANE TEMPERED GLAZING.
- CWUIC COMPLIANT.
- INSTALL PER MANUFACTURER'S SPECIFICATIONS.

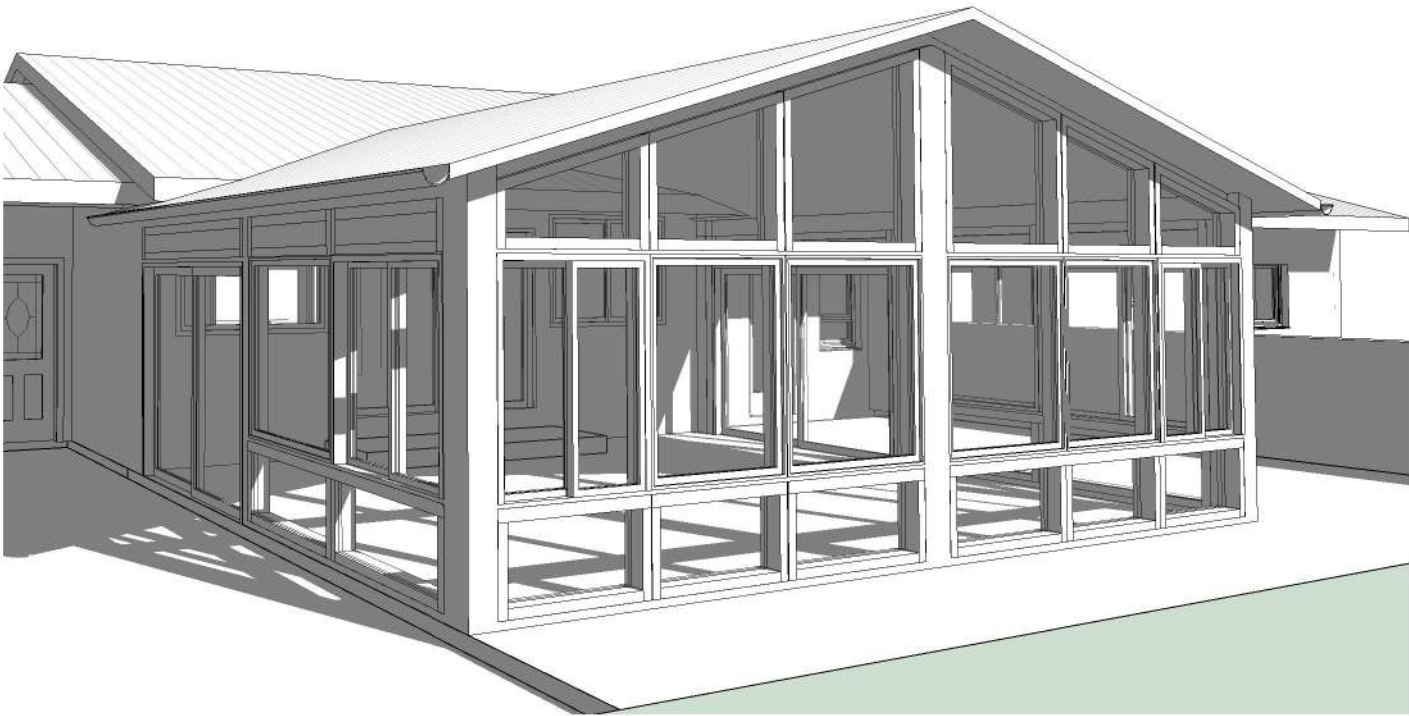


### EAVES/SOFFIT/FASCIA

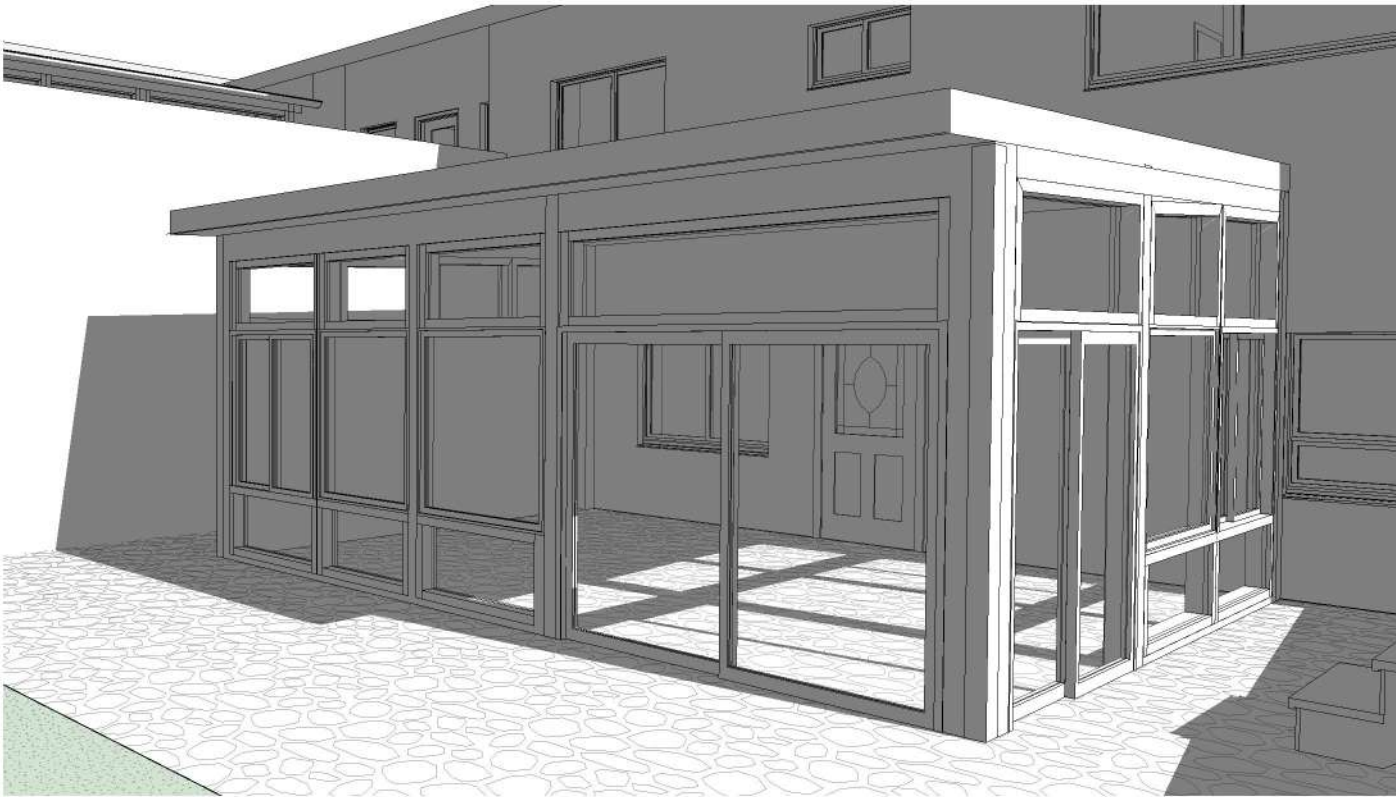
1. ALUMINIUM FASCIA: POWDER-COATED ALUMINUM FASCIA. ALUMINUM SHALL BE NONCOMBUSTIBLE.
2. SOFFIT: SOFFIT: FIBER-CEMENT SOFFIT PANELS COMPLYING WITH 2025 CWUIC SECTION 504.3.1.
3. ROOF OVERHANG: CLOSED EAVE CONSTRUCTION SHALL COMPLY WITH CWUIC SECTION 504.3.1.



2 Patio Enclosure #1  
A15



3 Patio Enclosure #2  
A15



4 Patio Enclosure #3  
A15

### KEY NOTES

- 1 (N) MOTION SENSOR OUTDOOR LIGHT. PRIOR TO INSTALLING, OWNER TO APPROVE FIXTURE.
- 2 (N) CEILING TRACK LIGHT. PRIOR TO INSTALLING, OWNER TO APPROVE FIXTURE.

### LEGENDS

- DUPLEX CONVENIENCE OUTLET W/ ARC FAULT PROTECTION
- 

### MATERIAL NOTES

1. EXTERIOR WALL SYSTEM TO UTILIZE STRUCTURAL INSULATED PANELS (SIP) PER ICC-ES ESR-1295.
2. EXTERIOR FINISH COLOR TO MATCH EXISTING RESIDENCE UNLESS OTHERWISE NOTED.
3. ROOF ASSEMBLY TO UTILIZE CLASS A COMPOSITE SHINGLES. PRODUCT: GAF TIMBERLINE HDZ WEATHERED WOOD OR APPROVED EQUIVALENT.
4. ALL EXTERIOR WINDOWS AND GLAZED DOORS SHALL UTILIZE DUAL-PANE TEMPERED GLASS.
5. WINDOWS AND DOORS SHALL BE VINYL OR ALUMINUM FRAME SYSTEMS PER MANUFACTURER SPECIFICATIONS.
6. PROVIDE WEATHER-RESISTIVE FLASHING AND SEALANTS AT ALL OPENINGS AND TRANSITIONS.
7. EXTERIOR LIGHT FIXTURES SHALL BE DOWNWARD-DIRECTED AND SHIELDED.
8. INTERIOR WALL SURFACES SHALL INCLUDE MINIMUM 1/2" GYPSUM WALLBOARD THERMAL BARRIER.
9. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER REQUIREMENTS.

### FIRE-RESISTANCE / WUI COMPLIANCE NOTES

1. PROJECT IS LOCATED WITHIN A WILDLAND-URBAN INTERFACE (WUI) FIRE AREA. ALL NEW CONSTRUCTION SHALL COMPLY WITH THE 2025 CALIFORNIA WILDLAND-URBAN INTERFACE CODE (CWUIC).
2. ALL ROOF ASSEMBLIES SHALL HAVE A CLASS A FIRE CLASSIFICATION IN ACCORDANCE WITH ASTM E108 OR UL 790.
3. SUNROOM WALL SYSTEM CONSISTS OF STRUCTURAL FIBERGLASS MEMBERS, STRUCTURAL ALUMINUM TUBES, AND PVC CLADDING AS PROVIDED BY THE MANUFACTURER. FIBERGLASS COMPONENTS AND PVC COMPONENTS UTILIZED IN THE SUNROOM WALL SYSTEM HAVE A UL 94 V-0 FLAMMABILITY CLASSIFICATION. ALUMINUM COMPONENTS ARE NONCOMBUSTIBLE.
5. INSULSPAN STRUCTURAL INSULATED PANELS (SIP), WHERE INDICATED ON THE DRAWINGS, SHALL BE INSTALLED IN ACCORDANCE WITH ICC-ES ESR-1295.
6. INSULSPAN SIP WALL ASSEMBLIES MAY ACHIEVE A ONE-HOUR FIRE-RESISTANCE RATING WHEN INSTALLED IN ACCORDANCE WITH ESR-1295, SECTION 4.2.4.
7. EXTERIOR SIDING, FASCIA, SOFFIT, AND TRIM MATERIALS SHALL BE IGNITION-RESISTANT OR FIRE-RETARDANT-TREATED FOR EXTERIOR USE AS REQUIRED BY CWUIC. OPEN EAVES SHALL BE PROTECTED IN ACCORDANCE WITH CWUIC SECTION 504.3.1.
9. PROVIDE MINIMUM 6-INCH VERTICAL METAL FLASHING OR OTHER APPROVED NONCOMBUSTIBLE MATERIAL AT WALL/ROOF, WALL/DECK, AND WALL/GRADE TRANSITIONS AS REQUIRED BY CWUIC SECTION 504.5.1.
10. ALL EXTERIOR WINDOWS, GLAZED OPENINGS, AND EXTERIOR DOORS SHALL COMPLY WITH CWUIC SECTIONS 504.8 AND 504.9.
11. ALL EXTERIOR GLAZING SHALL CONSIST OF INSULATED DUAL-PANE TEMPERED GLASS.
12. MANUFACTURER PRODUCT DATA, ICC-ES REPORTS, AND SUPPORTING FIRE PERFORMANCE DOCUMENTATION SHALL BE PROVIDED WITH THE PERMIT SUBMITTAL.
13. OPEN EAVES SHALL BE PROTECTED IN ACCORDANCE WITH 2025 CWUIC SECTION 504.3.1. EAVE ENCLOSURES, SOFFITS, AND FASCIA SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE, IGNITION-RESISTANT, OR FIRE-RETARDANT-TREATED MATERIALS APPROVED FOR EXTERIOR USE.
14. FASCIA SHALL BE POWDER-COATED ALUMINUM OR OTHER APPROVED IGNITION-RESISTANT MATERIAL COMPLYING WITH 2025 CWUIC REQUIREMENTS.

VALUE BUILDERS

27610 FAIRVIEW AVE  
PATIO ENCLOSURE

OWNER

SUBMITTED BY:

SHEET NAME:

Materials & WUI Compliance

DATE: 04/01/26

SCALE: 1/2" = 1'-0"

DRAWN: BM

JOB:

SHEET:

A15

Materials & WUI Compliance

1/2" = 1'-0"